

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF HEMET APPROVING GENERAL PLAN AMENDMENT 99-2C FOR A CHANGE FROM COMMERCIAL, RESIDENTIAL I AND II TO SPECIFIC PLAN AT THE NORTHWEST CORNER OF LYON AVENUE AND FRUITVALE AVENUE AND GENERAL PLAN AMENDMENT 99-5 A THROUGH F

WHEREAS, an application for a General Plan Amendment was initiated and filed by:

**GENERAL PLAN AMENDMENT 99-2C & ENVIRONMENTAL ASSESSMENT**

APPLICANT/OWNER: Merril Gardens, L.L.C.  
AGENT: Wattenbarger Associates  
LOCATION: 1001 N. Lyon Avenue  
ACREAGE: 18.78± ACRES  
APN(s): 441-520-041, 441-520-042, 441-520-043, 441-520-044, 441-520-045, 441-520-046, 441-520-047 & 441-520-048

**GENERAL PLAN AMENDMENT 99-5 A THRU F & ENVIRONMENTAL ASSESSMENT**

APPLICANT: City of Hemet (A - E)  
LOCATION: Various (as noted below)  
APPLICANT: Martin B. Weinberg, Martin B. Weinberg, Trustee and Daniel Montgomery (F)  
AGENT: Jeffrey Homes, Inc.

- A. **CIVIC CENTER MODIFICATION** - A City-initiated request to amend text of the Hemet General Plan, specifically the general facilities and library facilities portions of the Community Development Chapter, to modify the description of the civic center area to include, but not be limited to such uses as a public library, fire station, police station, post office, city hall, senior center, community facilities public plaza, and parking. This amendment also includes the modification of the Land Use Map designations of civic center, library, and post office to be consistent with the Hemet General Plan text amendments.
- B. **FIRE STATION 3** - A general plan amendment to designate as fire station, the existing location of Fire Station 3 at the north side of Devonshire Avenue east of Cawston Avenue.
- C. **WEST VALLEY HIGH** - A general plan amendment to designate the West Valley High School site at its current location at the southwest corner of Sanderson Avenue and Harrison Avenue.
- D. **BRUBAKER PARK** - A general plan amendment to the Land Use Map to designate the Brubaker Park site at its current location at the southeast corner of Cawston Avenue and Harrison Avenue.
- E. **HAMILTON AVENUE SOUTH OF FLORIDA AVENUE** - An amendment to the Land Use Map on the 4.77+/- acres of land (APN 442-091-005) located between Hamilton and Western Avenues, approximately 150-feet south of Florida Avenue from Residential III (17 to 25 dwelling units per acre) to Industrial (I).
- F. **STONEY MOUNTAIN RANCH** - An amendment to the Land Use Map to remove "Specific Plan" designation and replace it with Residential I and Open Space. This amendment also includes text amendments to the Hemet General Plan, including single-family residential development guidelines for the Stoney Mountain Ranch area located at the southeast corner of Esplanade Avenue and Warren Road.

WHEREAS, a public notice was published in The Hemet News giving notice of a public hearing to be held by the City Council on General Plan Amendment No. 99-2C and GPA 99-5 A-F. The public hearing was held before the City Council on the 24th day of August, 1999, at the hour of 7:00 p.m., with all testimony received being made a part of the public record.

6

1 NOW, THEREFORE, in consideration of the evidence and findings in the Staff Report dated June 8,  
2 1999, and in consideration of the evidence received at the hearing, and for the reasons discussed by the  
3 Council at said hearing, the City Council now finds, determines, and resolves as follows:  
4

5 **Section 1: Environmental Findings.**

- 6  
7 A. Initial Studies were completed in compliance with the California Environmental Quality Act and did  
8 not identify any potentially significant environmental effects as a result of the project for GPA 99-2C,  
9 GPA 99-5 A-E; and  
10  
11 B. An Initial Study was completed in compliance with the California Environmental Quality Act and did  
12 identify potentially significant environmental effects as a result of the project for GPA 99-5 F, but those  
13 effects were mitigable; and,  
14  
15 C. As a result of the Initial Studies for the projects, GPA 99-2C, GPA 99-5 A-E, they would have no  
16 potential to have adverse environmental effects on wildlife resources; and  
17  
18 D. As a result of the Initial Study for the project, GPA 99-5 F, it would have a potential to have adverse  
19 environmental effects on wildlife resources unless mitigated; and  
20  
21 E. The City Council has independently reviewed, analyzed, and adopted Negative Declarations with de  
22 minimis findings for GPA 99-2C and GPA 99-5 A-E. This review and analysis reflects the  
23 independent judgement of the City of Hemet; and  
24  
25 F. The City Council has independently reviewed, analyzed, and adopted a Mitigated Negative  
26 Declaration for GPA 99-5 F. This review and analysis reflects the independent judgement of the City  
27 of Hemet; and  
28

29 **Section 2: City Council Action.**

- 30  
31 A. The City Council amends the General Plan Land Use Map to show the land bounded by Eaton  
32 Avenue on the north, Lyon Avenue on the east, and Fruitvale Avenue on the south, as set forth in  
33 Exhibit A attached hereto and incorporated herein by this reference, as Specific Plan.  
34  
35 B. The City Council amends the General Plan Land Use Map as shown in the attached Exhibits B - G,  
36 and amend the text of the General Plan as shown in the attached Exhibits H, I AND j.  
37

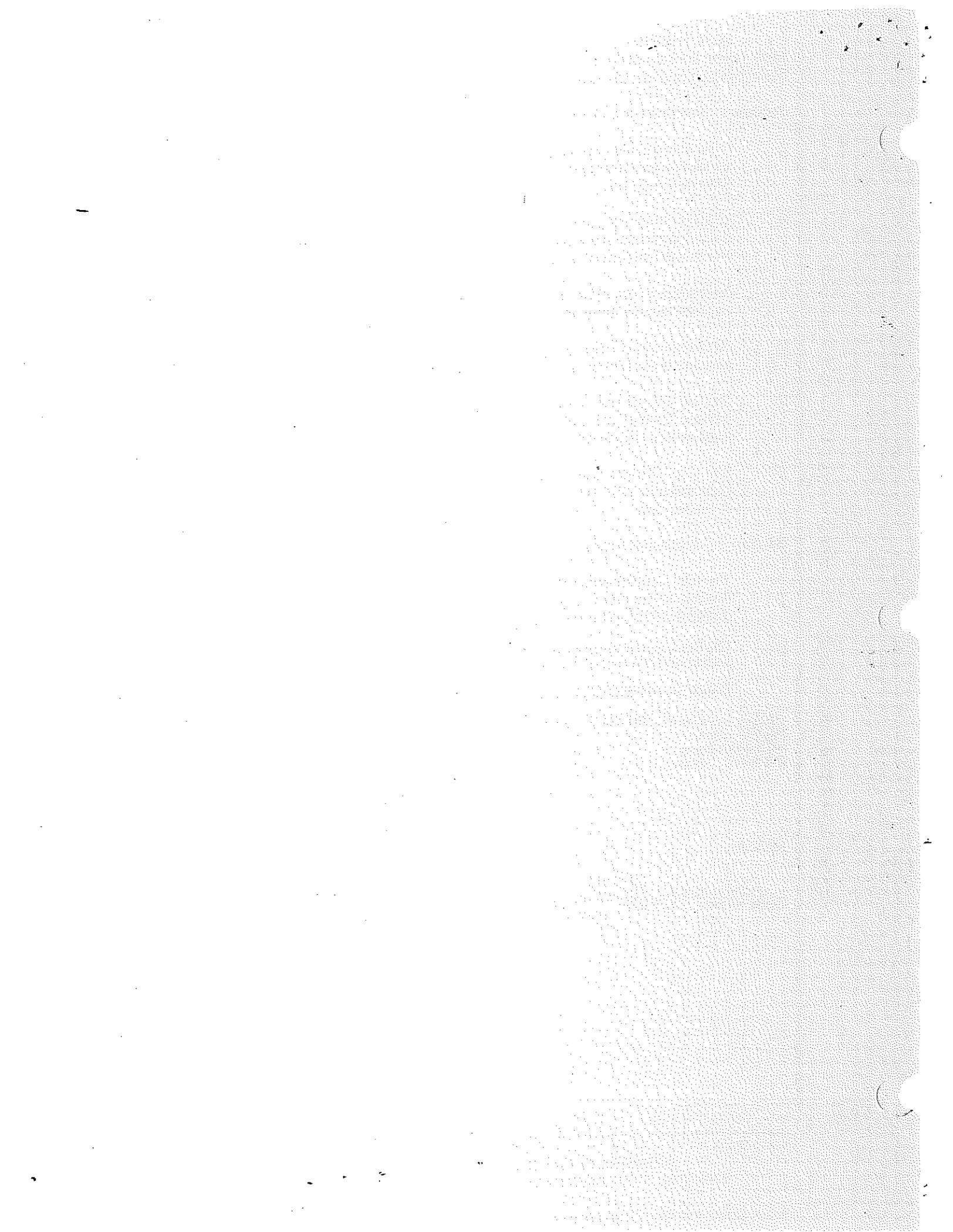
38 **PASSED, APPROVED, AND ADOPTED** this 24th day of August, 1999 by the following vote:

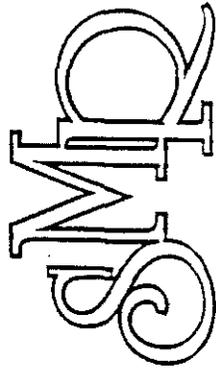
39  
40 AYES: Council Members Lowe, Meadows, Tandy, Van Arsdale and Mayor Alberg  
41 NOES: None  
42 ABSTAIN: None  
43 ABSENT: None  
44

45  
46   
47 Mayor, Lyle W. Alberg *Vice-Mayor*  
48

49 ATTEST:

50  
51   
52 Gene Graves, City Clerk  
53





STONEY  
MOUNTAIN  
RANCH

DEVELOPMENT GUIDELINES

7/9/99

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# INTRODUCTION

# 1.0 INTRODUCTION

## 1.1. PURPOSE AND INTENT

This Design Guideline document has been prepared as background information for the City of Hemet, in order to facilitate processing and approval of Residential Development within Stoney Mountain Ranch.

The purpose of the Design Guidelines is to allow for the development of quality residential, park, and open space within Tentative Tract 29129 located in the City of Hemet. These Guidelines, in conjunction with the City of Hemet's zoning ordinance will serve to facilitate Builders and City Staff in achieving the city's design objectives for development within Stoney Mountain Ranch.

# PROJECT SETTING

2.0

## 2.0 PROJECT SETTING

### 2.1. LOCATION

Stoney Mountain Ranch is located in Riverside County within of the City of Hemet. The approximately 237-acre project is located at the junction of Warren Road and Esplanade Avenue. Access to the site is readily available from Interstate 215 to Warren Road via State Route 74 (Florida Avenue) from the south, and from the Ramona Expressway to the north.

### 2.2 SETTING

The San Diego Aqueduct Canal runs from north to south, directly west of the project site. An existing ranch is located at the southeast corner of the Esplanade/Warren intersection directly adjacent to the project site.

The project site is generally rectangular in configuration with direct access available from both Warren Road and Esplanade Avenue. The 237 acre small project area is, at present, vacant land. The northern two-thirds of the property is relatively level to gently sloping, while the southern portion is mountainous. The site topography ranges from a low elevation of approximately 1502.5 feet above mean sea level along Warren Road and Esplanade Avenue, to highpoint of approximately 1980 feet above mean sea level at the southern project boundary. Thus, the total elevation change across the project site is approximately 478 feet. The buildable portion of the site is essentially level with a gradient of less than 1 percent. The southern portion of the site ranges from gradients of approximately 8 percent to extreme conditions approaching 100 percent gradients. Most of the southern portion of the site is unsuitable for building and will be preserved as natural open space.

# LANDSCAPING

3.0

## 3.0 LANDSCAPE GUIDELINES

### 3.1 SUGGESTED LANDSCAPE PALETTE

It is the intent of these guidelines to provide flexibility and diversity in plan and material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climactic conditions and concern for maintenance.

A limited selection of materials should be used to reinforce the individual architectural and site setting. Overall, plant material selection for given project areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for an entire landscape setting. Unless turf is to be ground cover, shrub or tree materials should be selected from the Plant Palette in Table 3.2. Street trees in the public right-of-way must be approved by the City Parks and Recreation Commission. The owners or developers of any parcel and/or tract which requires landscape development should complement any existing landscape areas adjoining their property. Where desirable, landscape development shall reinforce or be compatible with the existing adjacent landscaped area. All streets in Stoney Mountain Ranch are public streets and shall be constructed to meet city standards in effect at the time of development. All landscaping within the public right-of-ways shall meet Public Works standards as to species, size and placement.

Plant material palettes contained herein are compatible with the climactic setting of the area. The use of some materials depending upon their site location, exposure and relationship to other influential factors, may not be appropriate.

Front yards of all homes and street fronting sideyards of corner lots shall be landscaped and installed with automatic irrigation prior to final release of gas meter installation by the city of Hemet Building Department. (See typical Lot & Corner Lot Design Plan for required landscaped area). Additionally, gas meter release shall be withheld until homes with manufactured slopes are adequately landscaped and automatically irrigated per section 3.4. Landscape and irrigation plans for Esplanade Avenue parkway frontage, the park, parkways adjacent to detention basins, and detention basins shall be submitted to and approved by City of Hemet Planning Director and Valley Wide Parks and Recreation District.

**TABLE 3.2 PLANT PALETTE**

**BOTANICAL NAME                      COMMON NAME**

**GROUND COVER**

Baccharis pilularis 'Prostrata' . . . . . Dwarf Coyote Bush  
 Ceanothus species . . . . . Ceanothus  
 Cotoneaster species . . . . . Cotoneaster  
 Gazania species . . . . . Gazania  
 Grevillea species . . . . . Grevillea  
 Hedera species . . . . . Ivy  
 Hypericum species . . . . . Hypericum  
 Juniperus species . . . . . Juniper  
 Lantana species . . . . . Lantana  
 Lonicera . . . . . Halls Ivy  
 Myoporum parvifolium . . . . .  
 Osteospermum fruticosum . . . . . Trailing African Daisy  
 Rosemarinus officinalis 'Prostrata' . . . . . Rosemary  
 Vinca species . . . . . Vinca

**SHRUBS**

Acacia species . . . . . Acacia  
 Agapanthus species . . . . . Lily of the Nile  
 Arbutus species . . . . . Madrone  
 Archtostaphylos species . . . . . Manzanita  
 Calliandra species . . . . . Calliandra  
 Ceanothus species . . . . . Ceanothus  
 Cistus species . . . . . Rockrose  
 Cupressus species . . . . . Cypress  
 Dietes vegata . . . . . Lily  
 Dodonaea viscosa . . . . . Hopseed Bush

**BOTANICAL NAME                      COMMON NAME**

**SHRUBS**

Euonymus species . . . . . Euonymus  
 Hemerocallis hybrids . . . . . Silverberry  
 Heteromeles arbutifolia . . . . . Daylily  
 Hibiscus species . . . . . Hibiscus  
 Ilex species . . . . . Holly  
 Juniperus species . . . . . Juniper  
 Ligustrum species . . . . . Privet  
 Nandina species . . . . . Heavenly Bamboo  
 Nerium species . . . . . Oleander  
 Photinia species . . . . . Photinia  
 Pittosporum species . . . . . Pittosporum  
 Rhamphiolepis species . . . . . Indian Hawthorne  
 Rhus species . . . . . Sumac  
 Strelitzia species . . . . . Bird of Paradise  
 Tecomaria capense . . . . . Cape Honeysuckle  
 Trachelospermum jasminoides . . . . . Star Jasmine  
 Xylosma congestum . . . . . Shiny Xylosma

**TABLE 3.2 (CONTINUED)**

BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME
<b>VINES</b>		<b>TREES</b>	
<i>Bougainvillea</i> species	Bougainvillea	<i>Acacia baileyana</i>	Bailey Acacia
<i>Cistus antarctica</i>	Rockrose	<i>Albizia julibrissin</i>	Silk tree
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine	<i>Brachychiton populneus</i>	Bottle tree
<i>Doxantha unguis-cati</i>		<i>Ceratonia siliqua</i>	Carob Tree
<i>Ficus pumila</i>	Creeping Fig	<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Parthenocissus tricuspidata</i>	Boston Ivy	<i>Eucalyptus</i> species	Eucalyptus
<i>Phaedrathus buccinatorius</i>		<i>Ficus retusa</i> *	Indian Laurel Fig
<i>Wisteria floribunda</i>	Wisteria	<i>Geijera parvifolia</i>	Australian Willow
<i>Planatus racemosa</i>	California Sycamore	<i>Jacaranda acutifolia</i>	Jacaranda
<i>Albizia julibrissin</i>	Silk Tree	<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Cinnamomum camphora</i>	Camphor Tree	<i>Liquidambar styraciflua</i>	
<i>Cupaniopsis anacardioides</i>	Carrotwood	'Palo Alto'	American Sweet Gum
<b>STREET TREES</b>		<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Eucalyptus citriodora</i>	Common Scented Gum	<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Eucalyptus nicholii</i>	Nichol's Willow-Leafed Peppermint	<i>Melaleuca</i> species	Melaleuca
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum	<i>Pinus</i> species	Pine
<i>Eucalyptus sideroxylon</i>	Red Ironbark	<i>Pistacia chinensis</i>	Chinese Pistache
<i>Jacaranda acutifolia</i>	Jacaranda	<i>Pittosporum rhombifolia</i>	Queensland Pittosporum
<i>Lagerstroemia indica</i>	Crepe Myrtle	<i>Platanus</i> species	Plane Tree
<i>Liquidambar styraciflua</i>		<i>Prunus cerasifera</i>	Purple Leaf Plum
'Palo Alto'	American Sweet Gum	<i>Pyrus kawakamii</i>	Evergreen Pear
<i>Pinus canariensis</i>	Canary Island Pine	<i>Quercus</i> species	Oak
<i>Pinus halipensis</i>	Aleppo Pine	<i>Schinus</i> species	Peppertree
<i>Pinus pinea</i>	Italian Stone Pine	<i>Sequoia sempervirens</i>	Coast Redwood
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree	<i>Ulmus</i> species	Cedar
<i>Pyrus kawakamii</i>	Evergreen Pear		
<i>Schinus terebinthifolius</i>	Brazilian Peppertree		

\* Note: The *Ficus retusa* (Indian Laurel Fig) tree is not appropriate for use next to curbs or pavement because of its shallow and spreading root system. This tree should be planted only in expanses of lawn or large planting beds.

### 3.2.1 HORTICULTURAL SOILS TEST

Soils characteristics within the project may be variable. The owners of tracts and/or parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. Such a soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-plant and post-planting recommendations. Special attention should be paid to those areas requiring slope stabilization and erosion control.

### 3.2.2 IRRIGATION

All areas required to be landscaped shall be watered with an automatic irrigation system. Maintenance of the irrigation system on all individual residential lots is the responsibility of the lot owner. The irrigation system shall be designed in a manner to insure complete water coverage. Proper consideration of irrigation system design and installation as they relate to the climate conditions of the area is critical to the success of the landscape improvements. In particular, summer heat must be carefully considered to insure proper irrigation design and equipment selection. Irrigation backflow prevention devices (if required) and controllers shall be located with to minimize public visibility or shall be screened with appropriate plant materials.

### 3.2.3 PAVING

The following provisions shall apply to all paving surfaces throughout Stoney Mountain Ranch:

Paved areas including entry walks, driveways, and patios shall be designed as an integral component of the architectural design. The monotony of a large unbroken smooth surface should be avoided. The integration of textured surfaces such as brick, textured concrete, stamped concrete, etc., is acceptable.

- Decorative paving in streets other than asphaltic concrete may be permitted with City approval.
- Nonskid surface materials are desirable for all paving areas. Such materials may include concrete, brick, stone, and pavers of varying aggregates and textures.

### 3.3 OUTDOOR LIGHTING

All streets shall provide lighting no less than the minimum city standards.

- All other outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to prevent skyglow glare and illumination on streets or adjoining property; low intensity, energy conserving lighting is preferred.
- All exterior lights should be shielded and focused to minimize spill light into the night sky or adjacent properties.
- No freestanding lighting fixtures shall exceed 25 feet in height, except public street lights. In no case shall overwash occur beyond the property lines.
- Entry monuments may be illuminated externally if they are consistent with the project design theme, glare is controlled and lighting sources concealed.
- All electrical meter pedestals and light switch/control equipment shall be located with in such a way as to minimize public visibility or shall be screened with appropriate plant materials, walls, and/or fencing.
- Energy conservation, safety, and security should be emphasized when designating any lighting system.

### 3.4 SLOPE CONDITIONS

In implementing the Stoney Mountain Ranch guidelines, some manufactured slopes will be created. The following measures should be implemented to prevent soil erosion and slope failure.

- All manufactured slopes over five feet in height shall be at least hydroseeded upon completion of grading.
- All slopes identified shall be automatically irrigated. The irrigation system will be maintained by the owner of each residence.
- In addition, any graded slopes of fifteen (15) feet or higher shall be planted with trees and shrubs to further stabilize the slopes.
- Selection of planting materials should be determined with careful consideration of species that do not promote erosion or slope failure.

Certain types of plants such as ice plant and creeping fescue, once highly touted for slope control, should be avoided because of their weight and tendency to hold water which, in combination, could exacerbate slope failure. Appropriate plant materials for slopes include, but are not limited to, the following:

BOTANICAL NAME	COMMON NAME
Abelia sp. . . . .	Abelia
Acacia sp. . . . .	Acacia
Baccharis pilularis . . . . .	Coyote Brush
Bougainvillea sp. . . . .	Bougainvillea
Ceanothus sp. . . . .	Wild Lilac
Erica sp. . . . .	Heather
Gazania sp. . . . .	Gazania
Hedera helix . . . . .	English Ivy
Hypericum calycinum . . . . .	Hypericum
Lantana sp. . . . .	Lantana
Lonicera sp. . . . .	Honeysuckle
Rosmarinus officinalis . . . . .	Rosemary
Trachelospernum jasminoides . . . . .	Star Jasmine
Vinca major . . . . .	Periwinkle
Vinca minor . . . . .	Dwarf Periwinkle

# ARCHITECTURE

4.0

## 4.0 ARCHITECTURAL GUIDELINES

### 4.1 ARCHITECTURAL THEME

The overall architectural goal of the Stoney Mountain Ranch project is to create a quality development in which buildings are integrated into the project and complement their surroundings. The overall architectural motif shall be traditional and ranch style, in keeping with the project theme. For all residential dwelling units in Stoney Mountain Ranch, the maximum building height shall be two stories, or 35 feet maximum, whichever is less. Attractive, durable, high quality, weather resistant materials such as wood, masonry, and stucco shall be required for all visible and/or weather exposed surfaces on building exteriors. Subdued colors, earth tones, and various shades are encouraged to be used on all structures in keeping with the character of Stoney Mountain Ranch. Bright or brassy colors and contemporary accent colors are prohibited. Structures shall be designed with varying overhangs and eaves. Exposed rafter tails on roofs are also appropriate. Roofs shall be constructed of shake, clay or concrete tile. Composite roofing materials and asphalt shingles are prohibited. Roofing colors shall be limited to more subtle earth tones to reflect the rustic character of the project. Wood or stucco trim is encouraged. All mechanical equipment shall be screened from view at ground level by walls or fences similar in design to the building architecture, project theme wall, wood fencing or by landscaping adequate in size to provide proper screening. There shall be no mechanical equipment (air conditioning) on the roofs. Condenser locations should not be placed within 6 feet of a bedroom window.

### 4.2 STONEY MOUNTAIN RANCH

The goal of residential development within a natural environment should be the enhancement of the native landscape through sensitive and thoughtful planning. The following guidelines are meant to provide developers and architects with the tools necessary to generate cohesive yet individual architecture when designing a proposed project.

Our intent is the creation of architectural styles that will establish an immediate identity for each neighborhood.

To encourage individual identity, we have grouped various architectural styles under more generalized architectural titles. These sub groups define the styles further and will provide for more variety and diversity to the designs. In order for "true" and historically accurate designs to work within the budget constraints of modern construction and market changes, some interpretation of these styles may be necessary. Any interpretations of details or finishes should still favor traditional concepts rather than a more contemporary stylization.

Finishes and details of each residence should be consistent with and applicable to the style chosen and be applied to the exterior elevations on a percentage basis as follows:

#### 4.3 STREET SCENE

**Front Elevations:** 80% of the street facing facade shall be utilized to include required design elements, including decorative accent treatments.

**Streetside Elevations:** Any side elevations fronting a street on a corner lot must provide at least a 50% portion of wall surfaces with required design elements, including decorative accent treatments. **Note:** On single stories this applies to the upper half of the wall. On two stories it applies to the upper half of the second floor wall.

#### 4.4 ARCHITECTURAL CHARACTER

The residences of stoney mountain ranch shall be based on designs of traditional styles to compliment the unusual and rustic nature of the site.

##### 4.4.1 STYLES APPROVED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

**EASTERN SEABOARD** – Includes Cape Cod, Salt Box, and Victorian styles

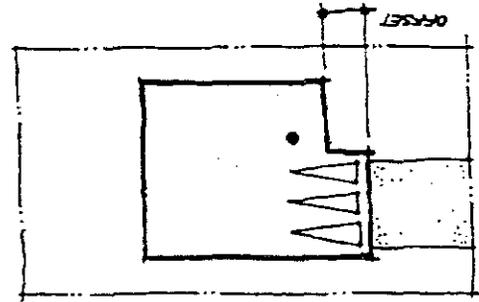
**SPANISH COLONIAL** – Includes Monterey, Mediterranean, and Early California styles

**COUNTRY STYLES** – Includes French Country and English Country styles

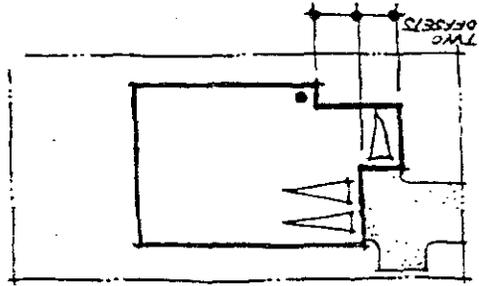
**RANCH** – Includes California Ranch and Craftsman Ranch styles

##### 4.4.2 SITE DESIGNS/FRONT ELEVATIONS AND SETBACKS

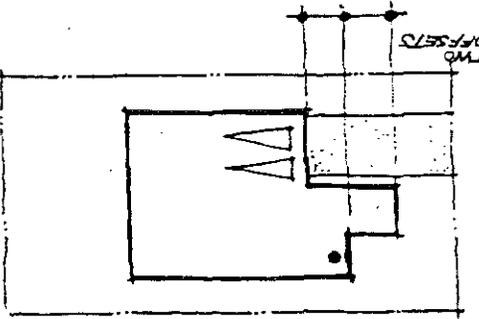
Individual residences should be sited on lots to provide a varied setback from house to house. This can be accomplished by varying the location and orientation of garage and entry doors and by varying the setback of front elements of the residence facade. At least one offset is required in the front facade. Refer to the "site design examples" (Figure 4.4.3) Detached, attached garages, recessed and turn-in garages are encouraged. A mixture of standard front loading, side loading (turn-in) and motor court garages will provide a varied and pleasing street scene.



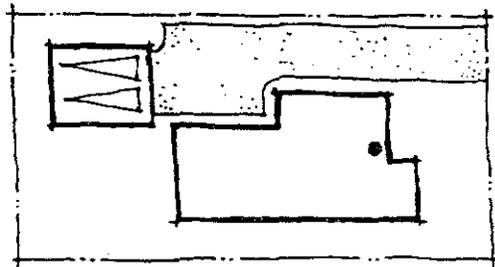
STANDARD FRONT  
GARAGE ENTRY



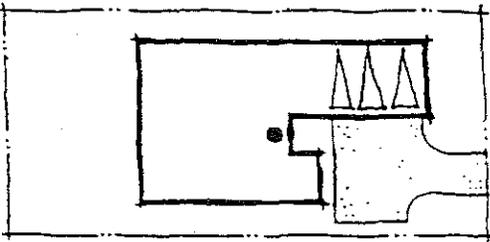
SIDE ENTRY  
GARAGE



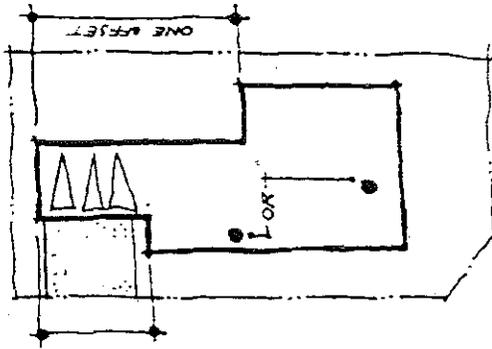
RECESSED ENTRY  
GARAGE



DETACHED/SEMI  
DETACHED GARAGE



MOTOR COURT  
SIDE ENTRY  
GARAGE



CORNER LOT  
REAR ENTRY  
GARAGE

NOTES:

ALL SETBACKS PER  
CITY CODE.

● INDICATES FRONT  
ENTRY DOOR.

▲▲▲ INDICATES  
GARAGE  
LOCATION.

DRIVEWAY

4.4.3 SITE DESIGN EXAMPLES

## 4.5 ARCHITECTURAL STYLES

### COUNTRY STYLES

- a. French Country
- b. English Country

#### 1. Roofing

- a. Main roof sloping from front to back may be shallower pitch
- b. Front & rear elevation should feature steeper pitched gable or hipped roofs.
- c. Flat concrete shingle, shake or slate style materials. Ridge and hips can be accented with terracotta style clay or concrete tiles.

#### 2. Doors & Windows:

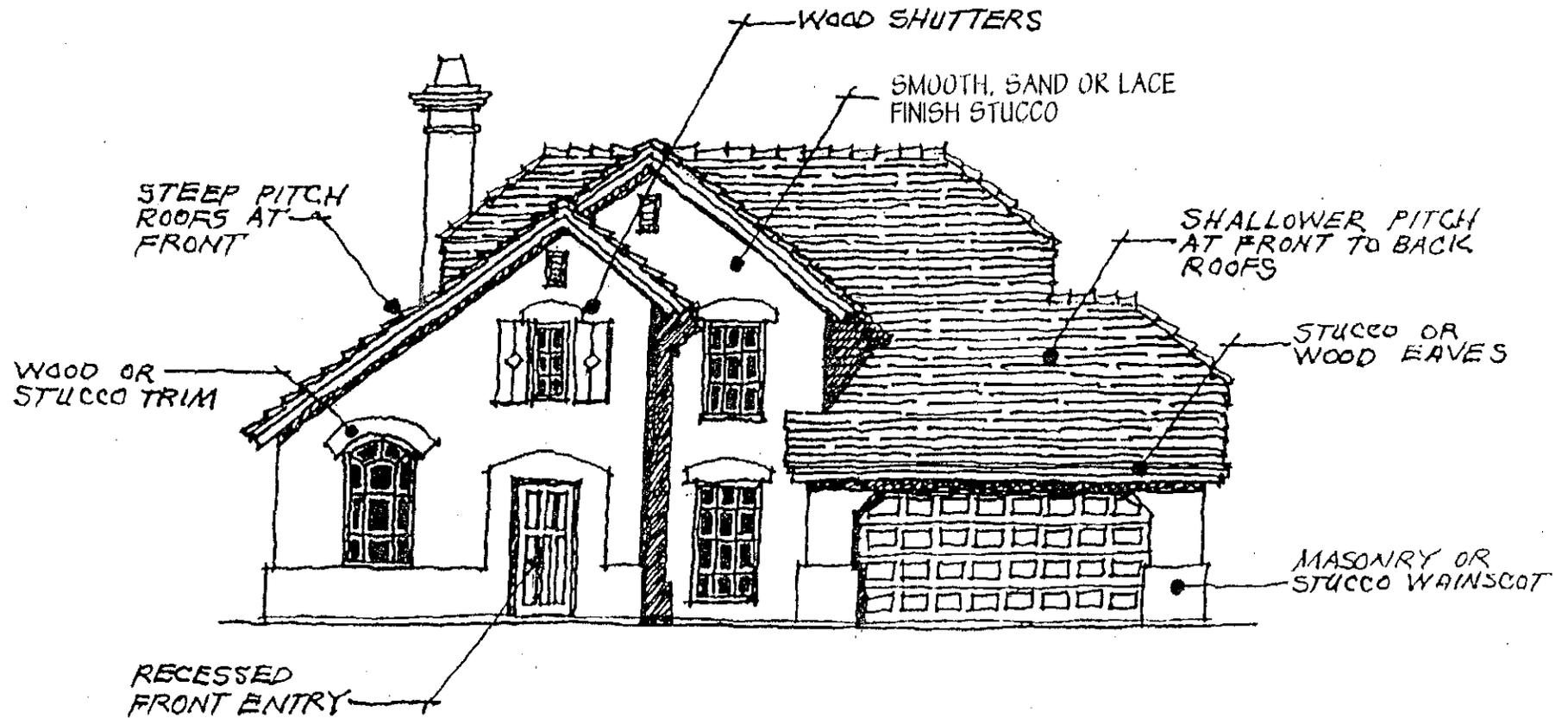
- a. Recessed or highly trimmed on front elevations.
- b. Plank style wood shutters
- c. Natural earth colors painted or stained.

#### 3. Wall Finishes:

- a. Smooth, sand or lace, finished stucco.
- b. Authentic or simulated stone, masonry wall accents.
- c. Rough stained or painted wood trim.

#### 4. Design elements:

- a. Wood balcony railings
- b. Soft stucco arches
- c. Corbel beams



## COUNTRY STYLES

## **EASTERN SEABOARD**

- a. Cape Cod
- b. Saltbox
- c. Victorian

### **1. Roofing:**

- a. Main roof sloping from front to back may be a shallower pitch
- b. Front & rear elevations shall feature steep pitched gable roofs
- c. Shingle, slate, or shake style flat conc. tiles

### **2. Doors & windows:**

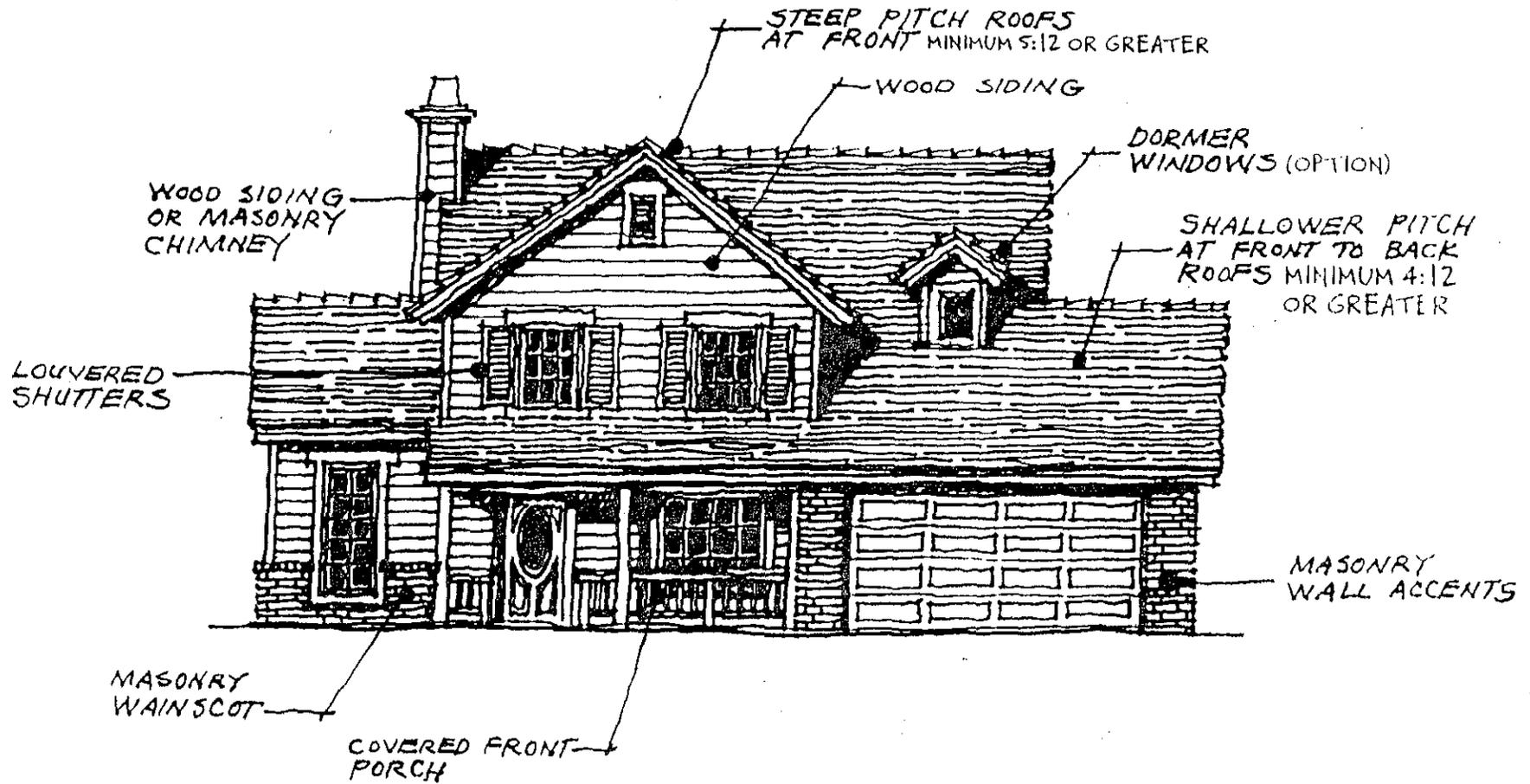
- a. Muntined windows with wood trim surround painted or stained
- b. Entry door in accent color
- c. Louvered wood shutters in accent colors.

### **3. Wall Finishes:**

- a. Smooth, sand or lace finish stucco.
- b. Stone or masonry wall accents
- c. Smooth or textured wood lap siding or shingles.
- d. Smooth or wood trim stained or painted.

### **4. Design elements:**

- a. Front porch
- b. Louvered shutters
- c. Masonry or stone accents.
- d. Intricate wood trim details at Victorian



## EASTERN SEABOARD

## SPANISH COLONIAL:

- a. Early California
- b. Mediterranean
- c. Monterey

### 1. Roofing:

- a. Main roof sloping from front to back may be a shallower pitch.
- b. Front & rear elevation gables on hips shall be shallow pitched.
- c. Clay or concrete "S" Tiles at Mediterranean elevations.
- d. Shake or shingle style flat conc, or clay or conc. "s" mission tiles at early California or Monterey elevations.

### 2. Doors & Windows:

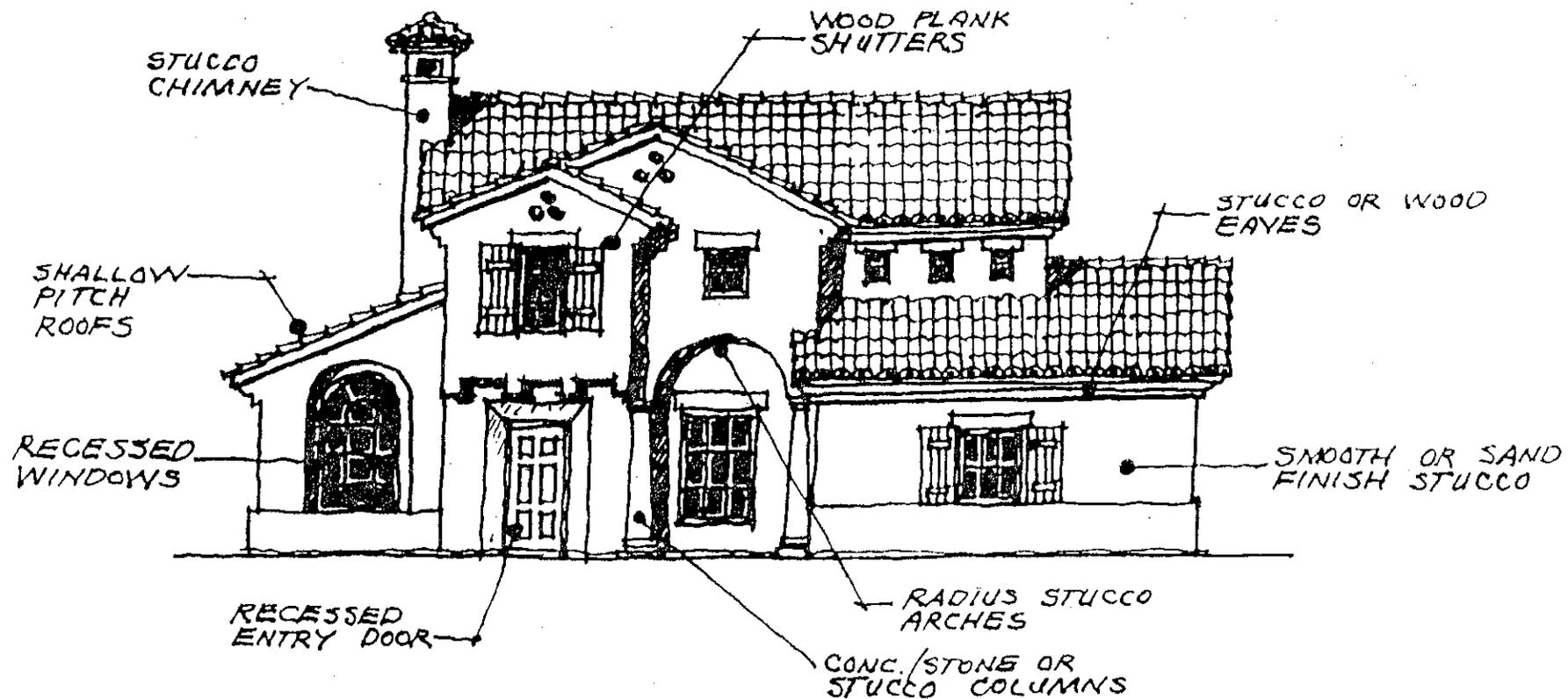
- a. Muntined windows with stuccoed or stained wood trim.
- b. Stained wood entry door.
- c. Stained wood plank shutters.

### 3. Wall Finishes:

- a. Smooth sand or lace finished stucco
- b. Stucco wainscot in accent color.
- c. Rough stained or painted wood trim.

### 4. Design elements:

- a. Wood or wrought iron balcony railing
- b. Radius stucco arches.
- c. Stucco, wood or conc. columns.
- d. Stuccoed or wood corbels under soffits.



SPANISH COLONIAL

# RANCH

- a. California Ranch
- b. Craftsman

## 1. Roofing:

- a. Main roofing sloping from front to back may be a shallower pitch.
- b. Front & rear elevations shall feature shallow pitched gables.
- c. Shingle, or shake style flat conc. tiles

## 2. Doors& Windows

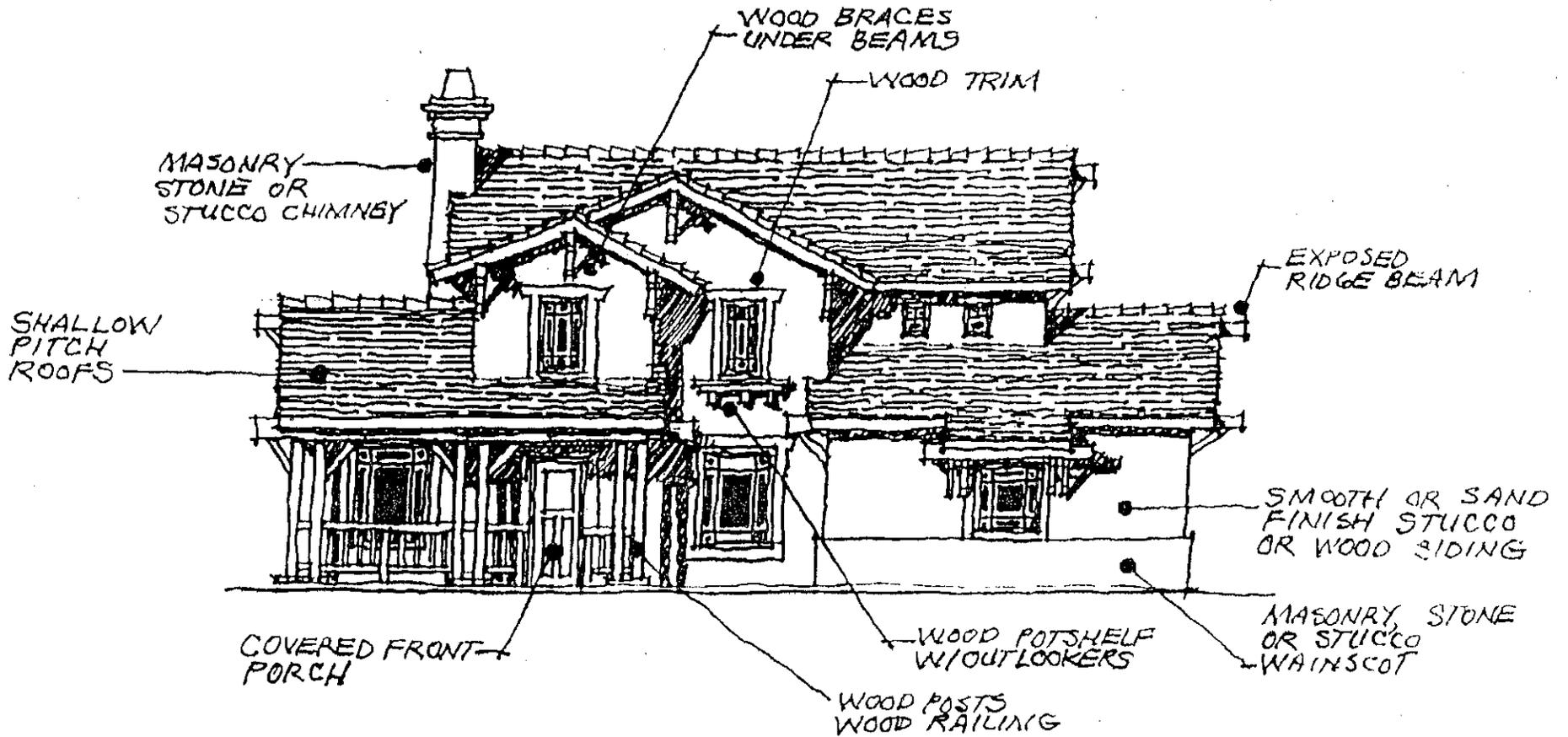
- a. Single light or muntined windows with wood trim surrounds.
- b. Entry door stained or painted.
- c. Stained or painted textured wood trim surrounds.

## 3. Wall Finishes:

- a. Smooth, sand or lace finish stucco
- b. Smooth or textured wood lap, sidings, shingles or board & batten siding
- c. Stone or masonry accents.
- d. Smooth or textured wood trim stained or painted.

## 4. Design elements:

- a. Front porch.
- b. Exposed ridge beam extensions with bracing.
- c. Masonry or stone wainscot accents
- d. Wood potshelves at window.



RANCH

#### 4.6 REQUIRED DESIGN ELEMENTS

**Roofs:** Clay or concrete roofing tiles, flat slate or shake style, or one piece "S" or traditional two piece mission tiles.

**Windows:** Painted aluminum, wood or vinyl in appropriate colors. No mill finish aluminum allowed

**Doors:** Wood, metal or fiberglass painted or stained

**Exterior wall finishes:** Smooth, sand finish or lace stucco, lapped or board & batten wood siding, masonry (brick or stone) veneers as accents.  
Synthetic or simulated stone or siding is acceptable.

**Decorative Accent Treatments:** Precast stone, masonry, brick, stucco furrouts or precast concrete used as wainscot along foundations.

Simulated/synthetic stone is acceptable.

**Wood trim:** Painted or stained trim at windows, doors, gates, eaves, beams, potshelves, balconies & porch pickets.

For exposed roof rafter ends/tails 3x min. width is preferred in lieu of 2x exposed rafter ends/tails.

**Metalwork:** Wrought iron balconies, railing or grillwork shall be shaped to appropriate architectural style and painted.

**Wood Shutters:** Painted or stained an accent or complimentary color to main body of house color.

**Color Palette:** Colors used on residences shall reflect the heritage of the appropriate architectural style.

**Wall colors:** Traditional earth tones and pale pastels as main body colors.

Deeper tones of matching color for wainscot accent or trim accent is suggested.

**Trim & Accents:** Complimentary whites or dark accent for trims, eaves, doors, windows & shutters.

**Roofing:** Natural colors to approximate the appropriate material such as:

Dark browns, grays & blacks for slate.

Light & medium browns for shingles and shakes.

Pale and dark terracotta colors for clay or conc., "S" or mission tiles.

#### 4.7 REQUIRED DESIGN ELEMENTS

Each residence shall contain a minimum of 4 design elements from the following list of architectural features:

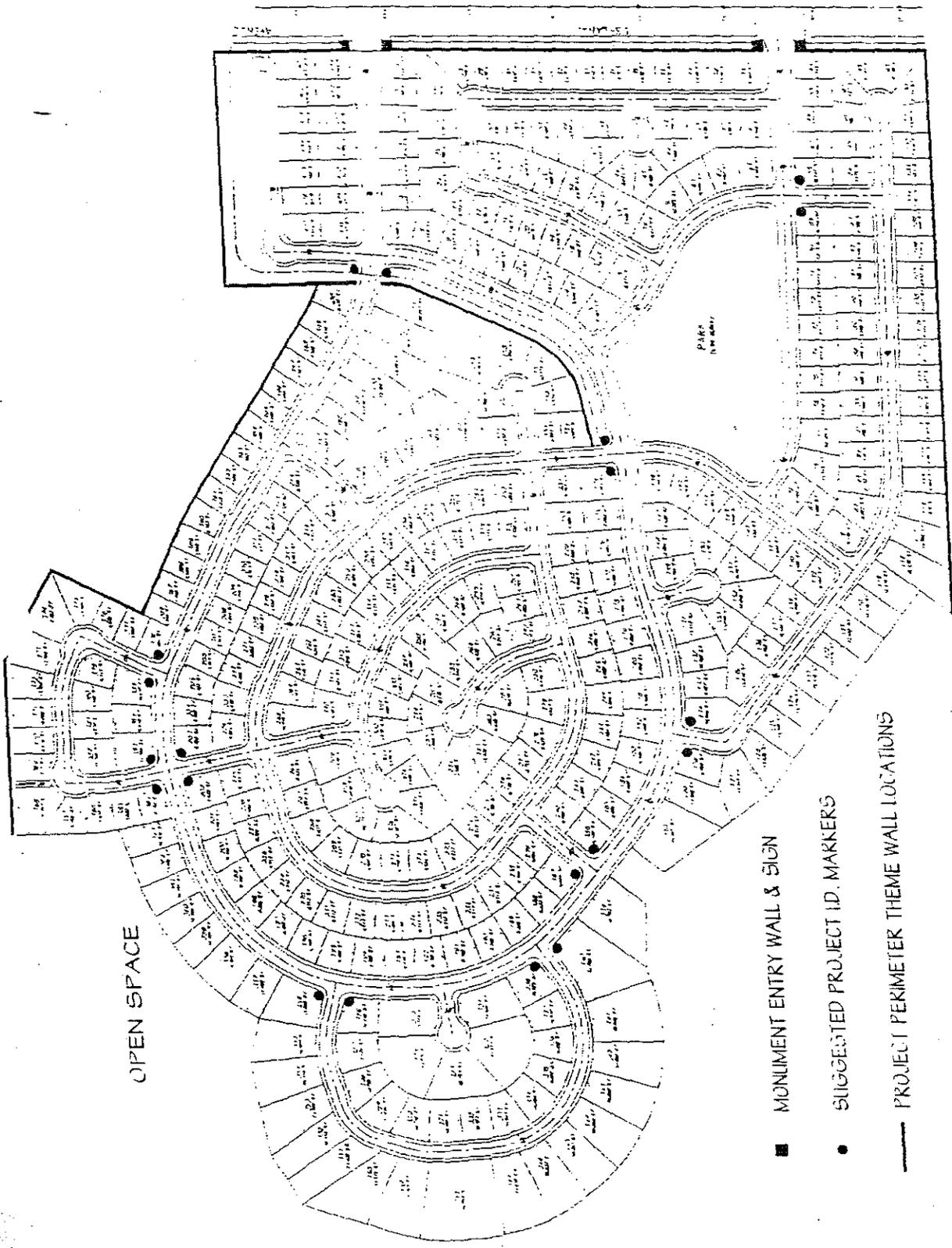
1. Roofing types & Fascia & barge details.
2. Chimneys.
3. Balconies.
4. Porches & columns
5. Gable accents.
6. Wall finishes
7. Window styles
8. Window accents
9. Various details.

#### 4.8 WINDOW DESIGN/ STYLES:

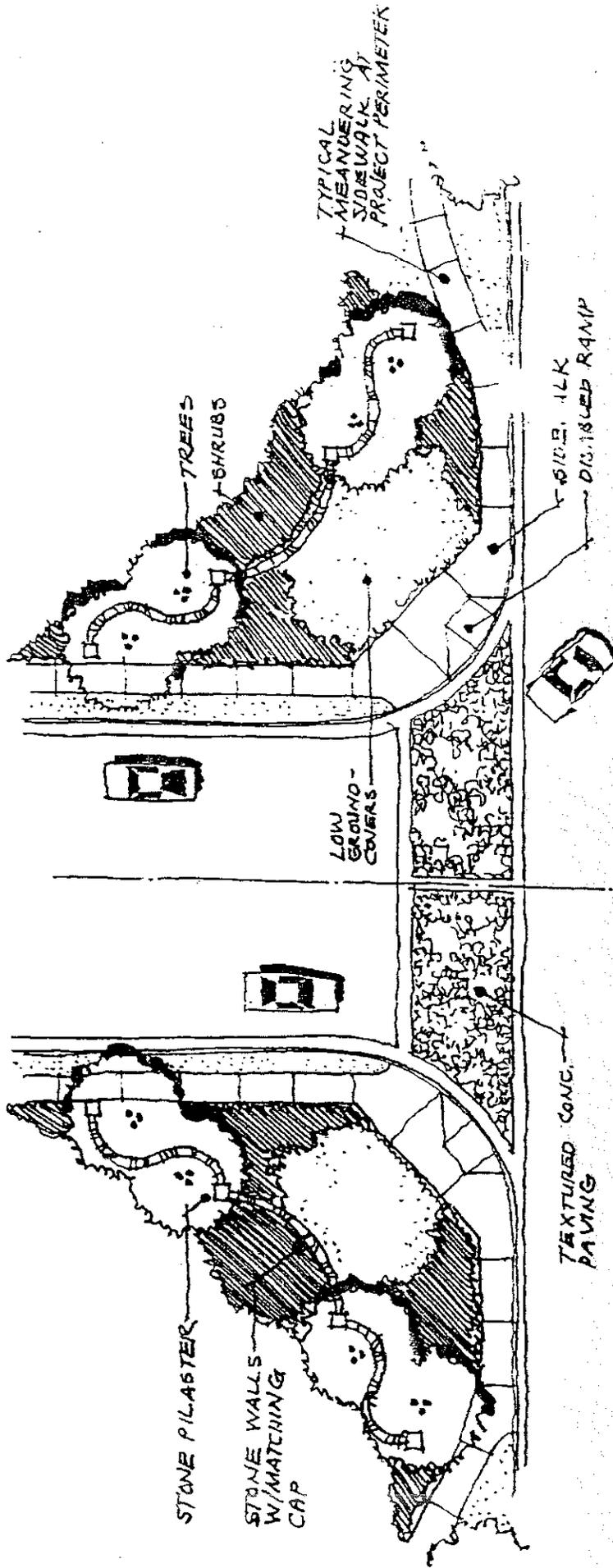
Windows with enriched detailing and or trim surrounds are encouraged. This can be accomplished as follows:

- a. 100% muntined windows at front & street fronting side elevation on corner lots.
- b. Trim surrounds, recessed or pop-out windows at various locations around exterior. For all architectural styles.

# MONUMENT WALLS & FENCING



# 5.1 MASTER SITE PLAN

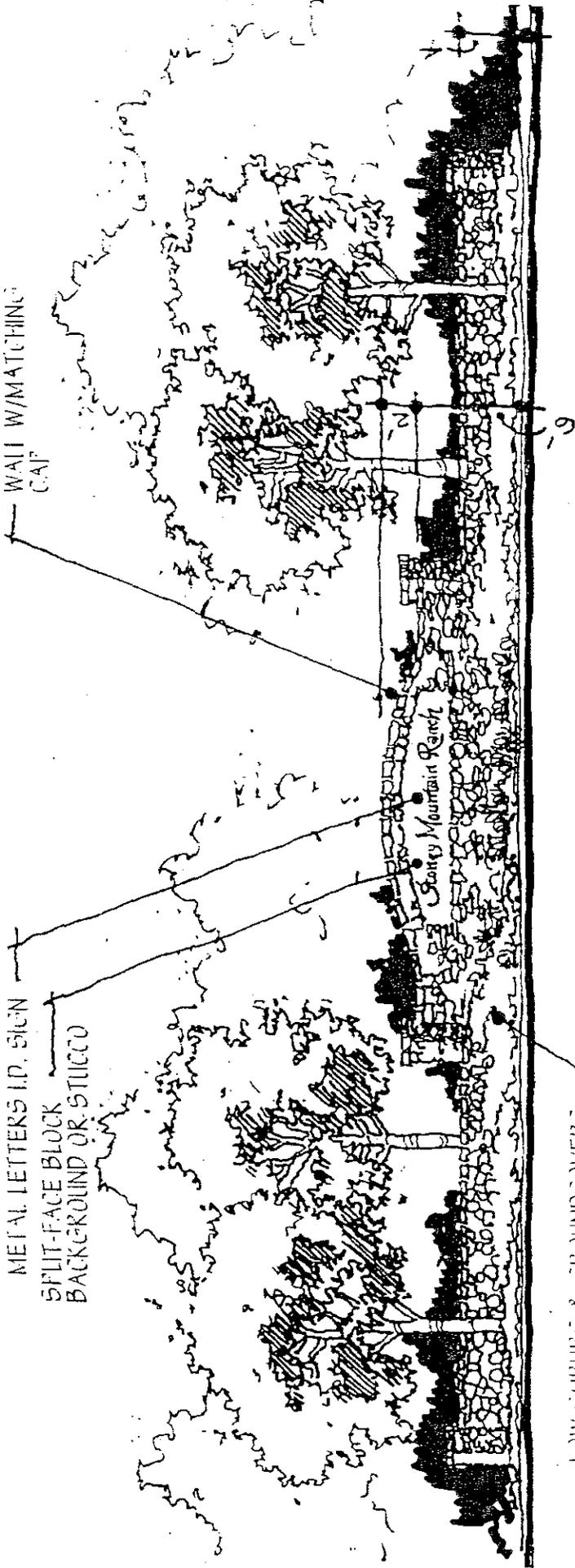


ESPLANADE AVENUE

5.2 MAIN ENTRANCE MONUMENT WALL PLAN

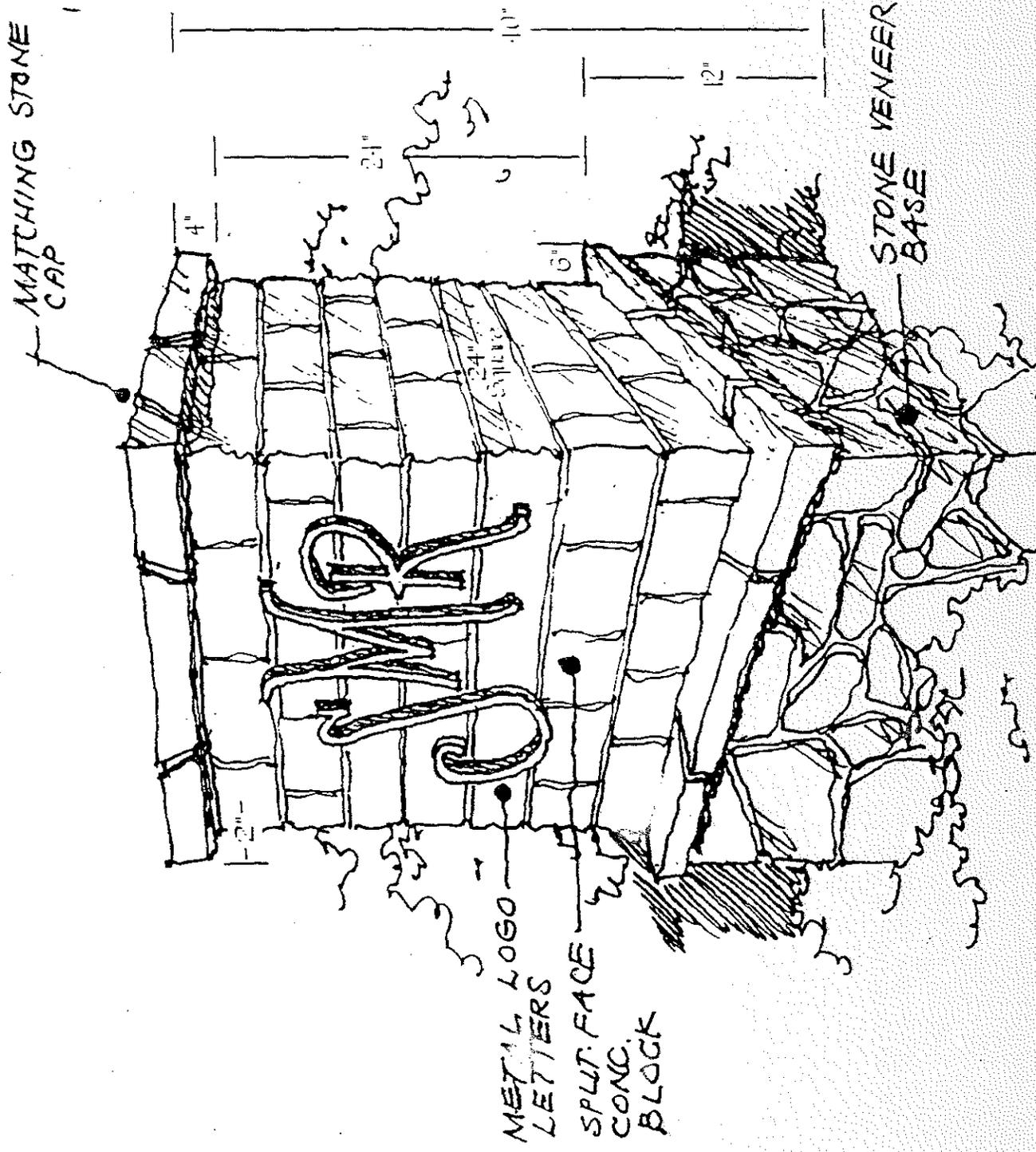
STONE VENEER  
WALL W/MATCHING  
CAP

METAL LETTERS I.P. SIGN  
SPLIT-FACE BLOCK  
BACKGROUND OR STUCCO

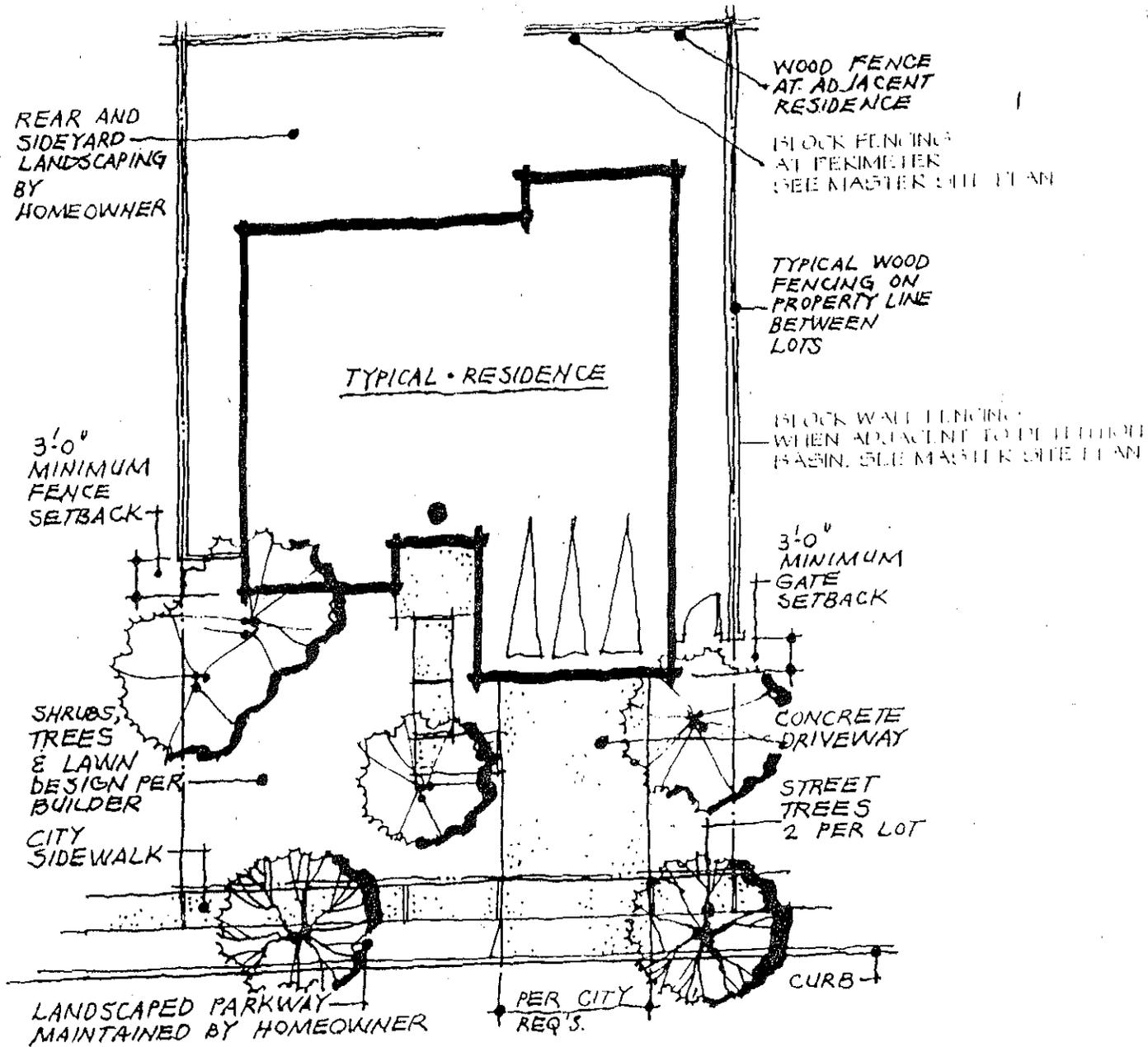


LOW SHRUBS & GROUNDCOVERS

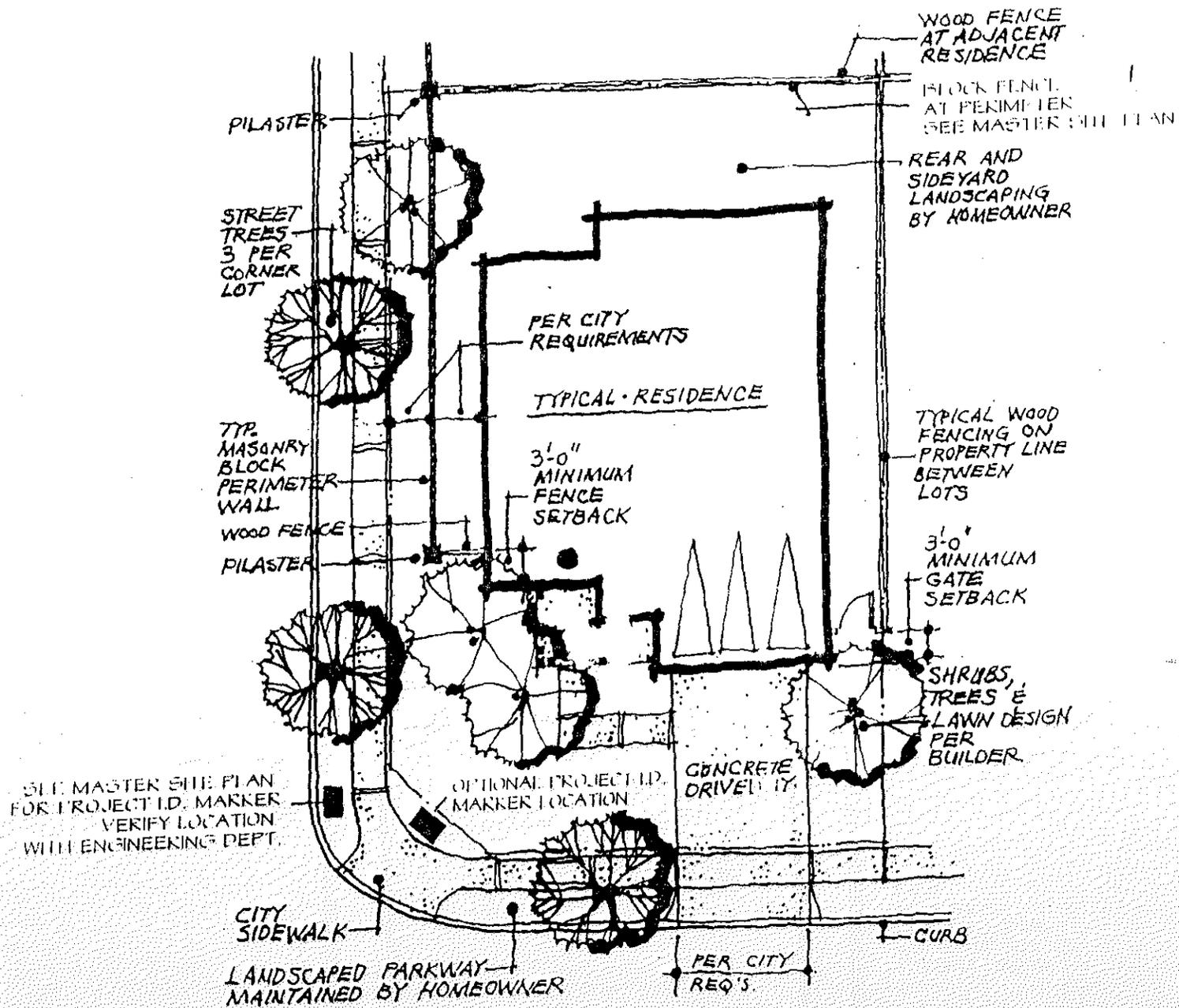
# MONUMENT WALL ELEVATION



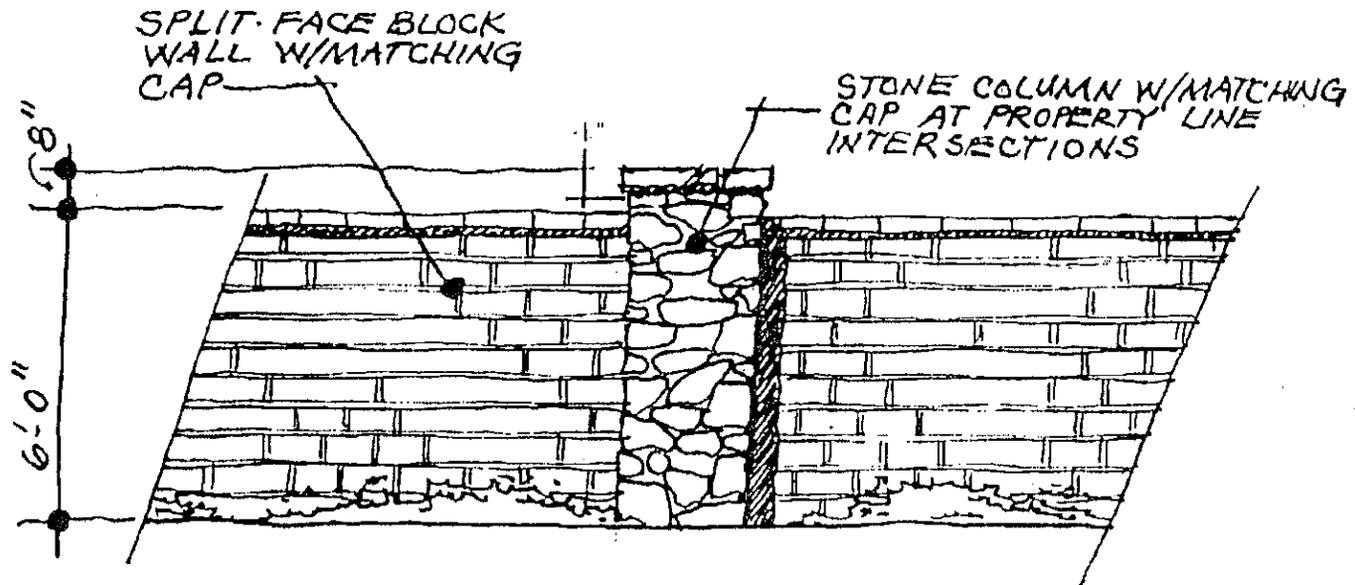
5.3 PROJECT I.D. MARKER



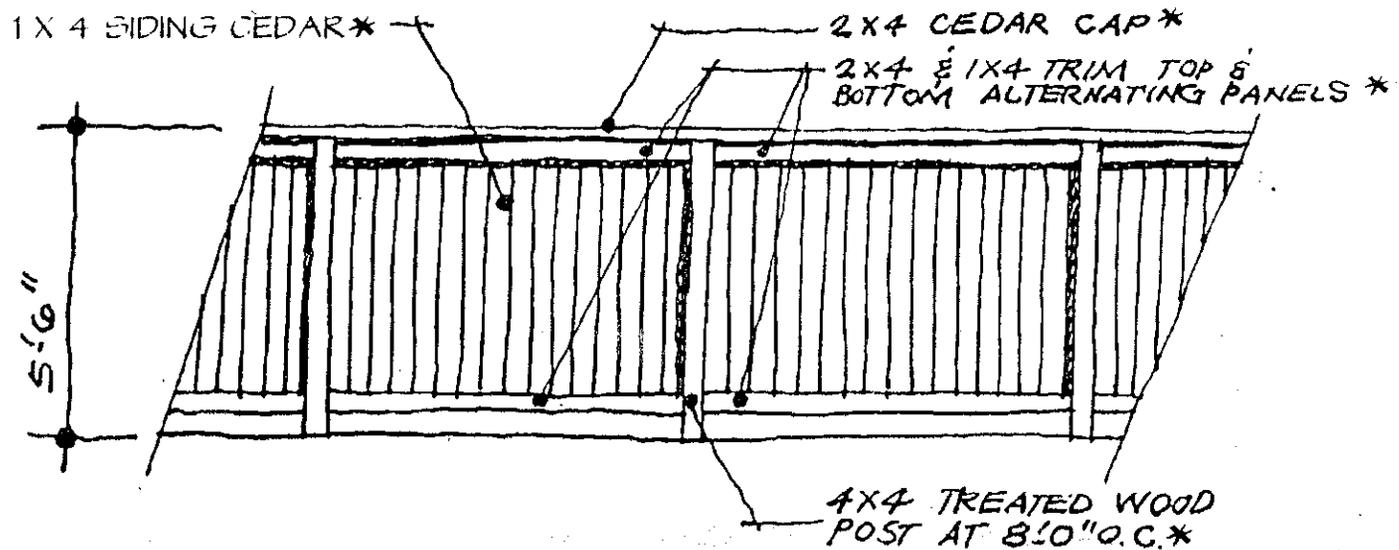
5.4 TYPICAL LOT PLAN



**5.5 TYPICAL CORNER LOT PLAN**



## 5.6 PROJECT PERIMETER THEME WALL



\* REDWOOD IS AN ACCEPTABLE SUBSTITUTE

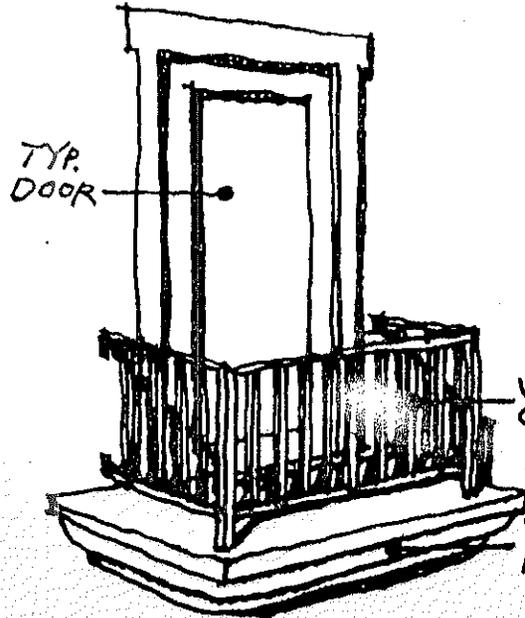
NOTE: SUBMITTED DESIGNS ARE ACCEPTABLE BUT MUST BE APPROVED BY PLANNING DIRECTOR.

## 5.7 INTERIOR LOT SIDE AND REAR FENCING

# DETAILS

6.0

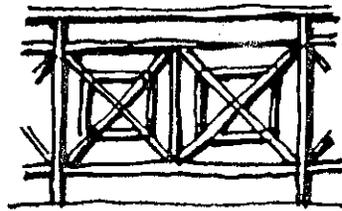
# 6.1 BALCONY, DECK & PORCH RAILINGS



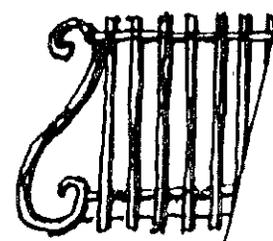
TYP.  
DOOR

WROUGHT IRON  
OR WOOD

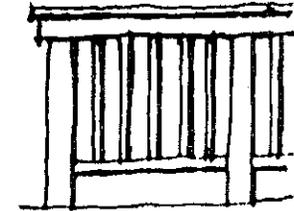
WOOD OR STUCCO  
FINISH



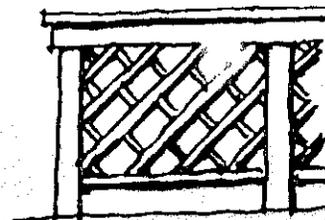
WROUGHT IRON  
OR WOOD



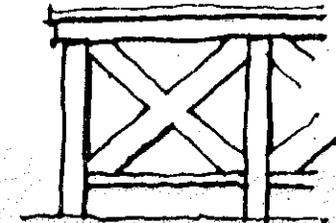
WROUGHT  
IRON



WOOD



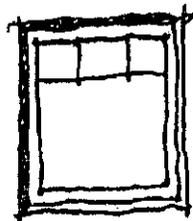
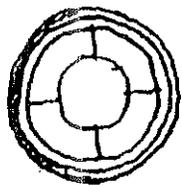
WOOD



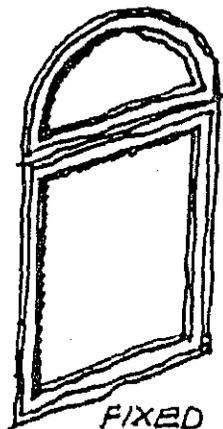
WOOD



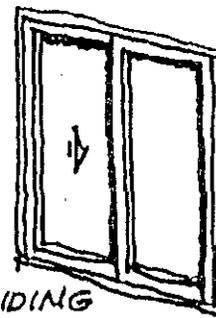
# 6.3 WINDOW TYPES & STYLE DESIGN DETAILS



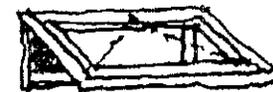
CRAFTSMAN



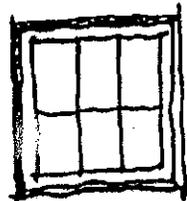
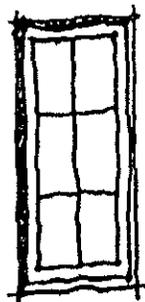
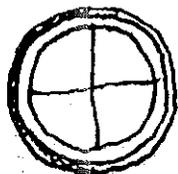
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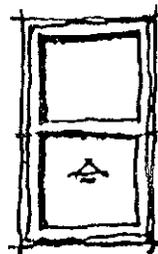
SLIDING



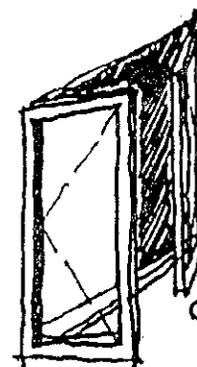
AWNING



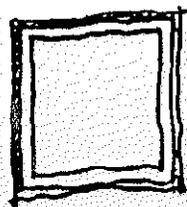
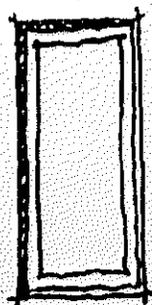
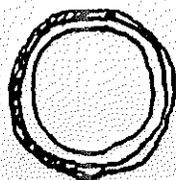
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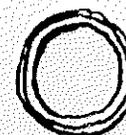
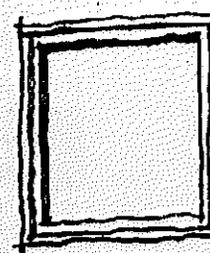
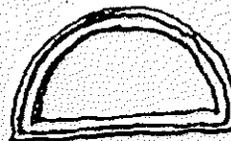
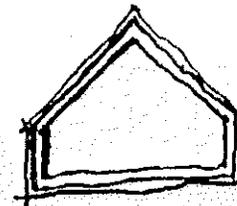
SINGLE HUNG



CASEMENT

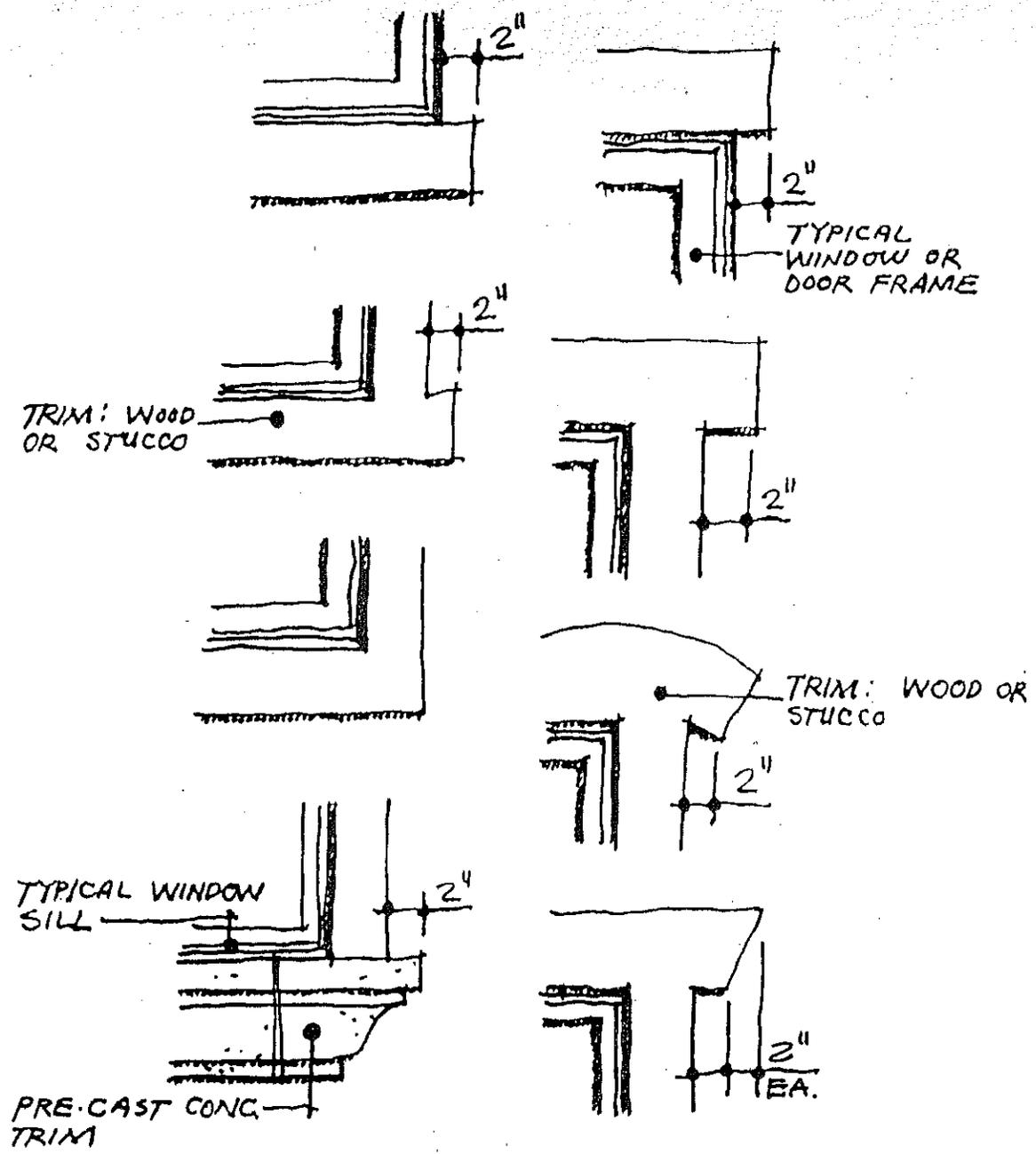


SINGLE LITE

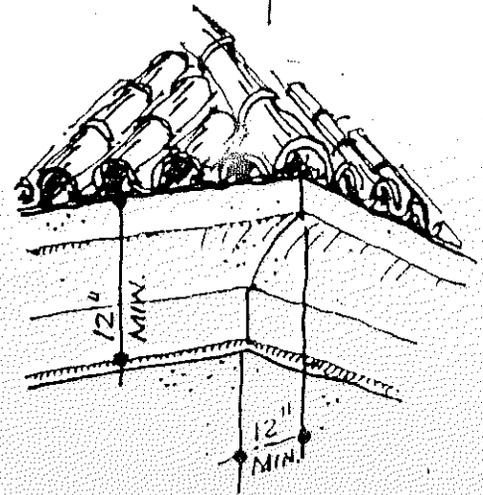
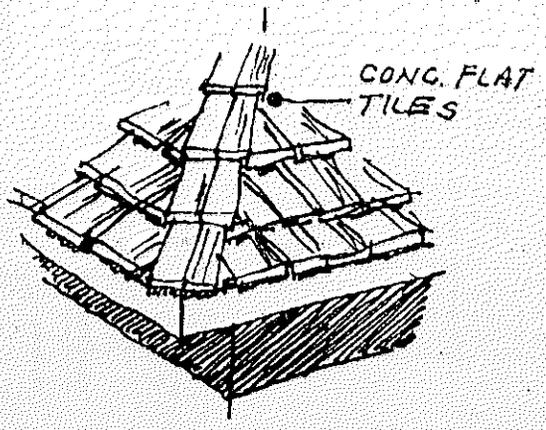
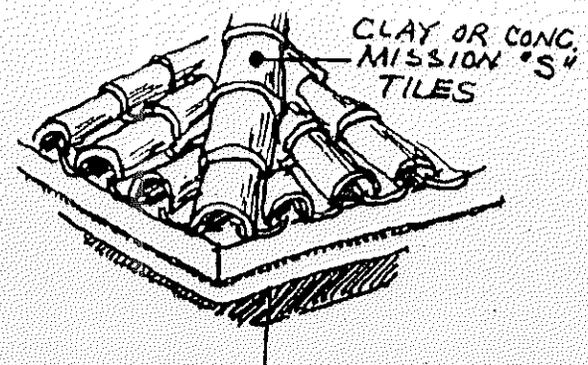
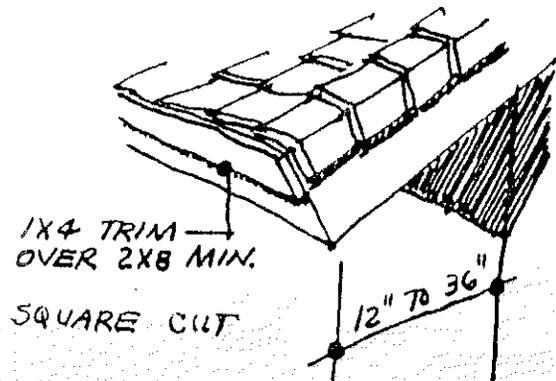
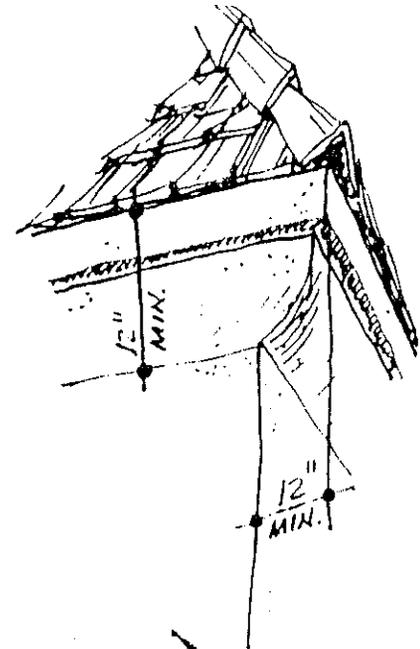
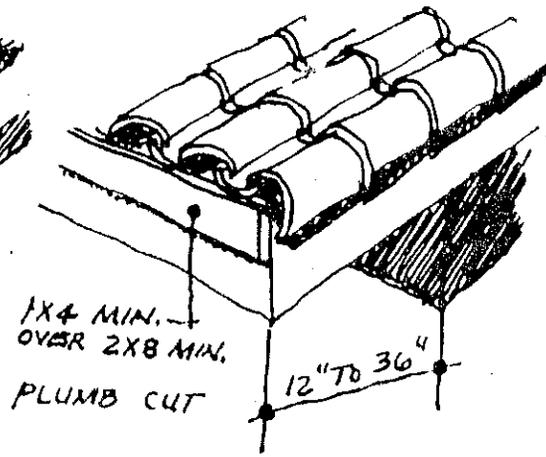
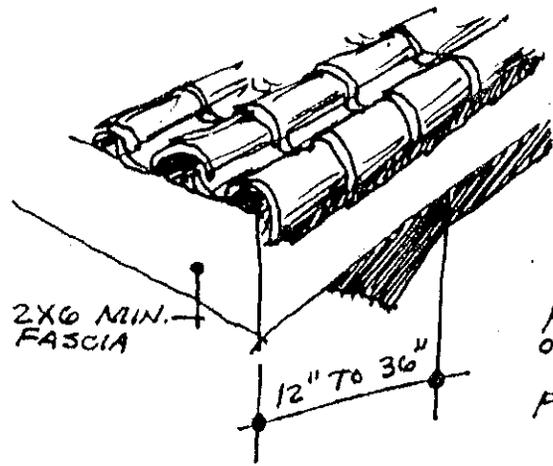


WINDOW SHAPES

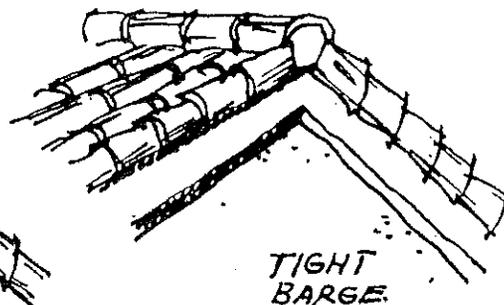
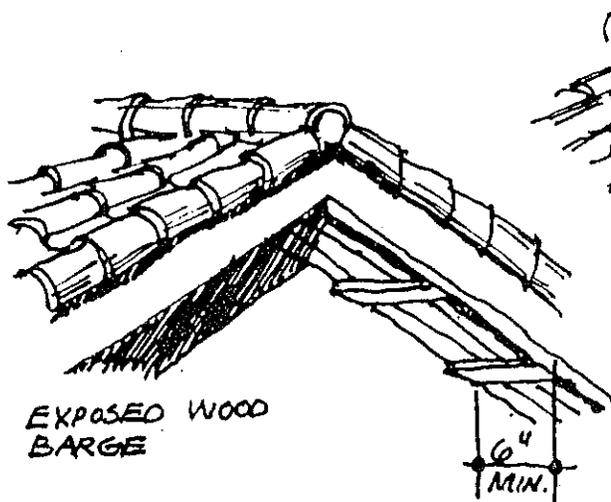
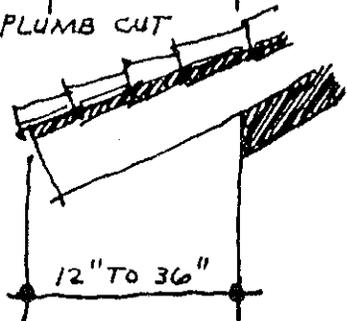
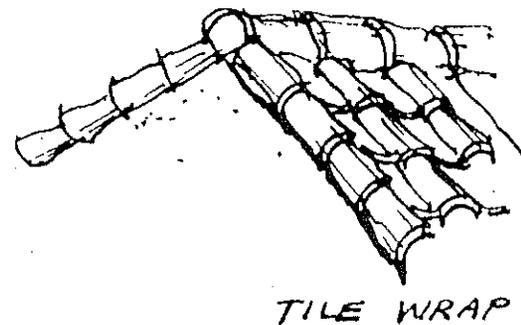
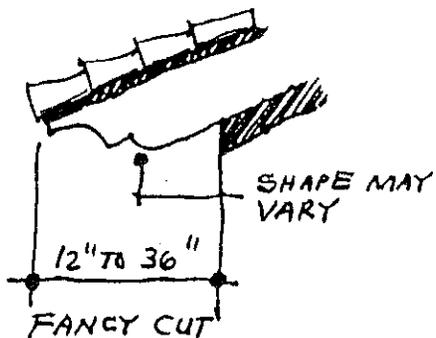
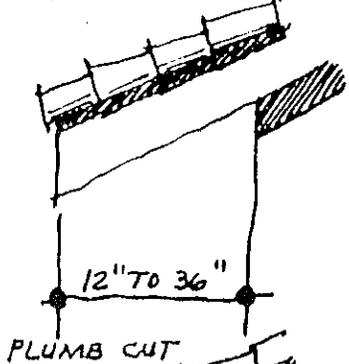
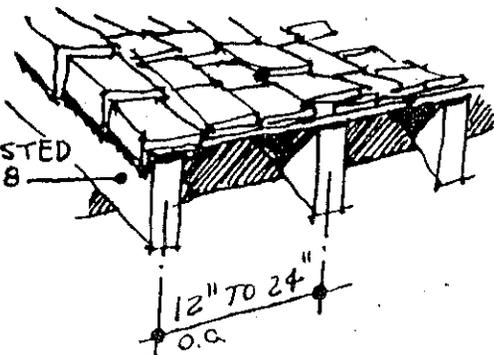
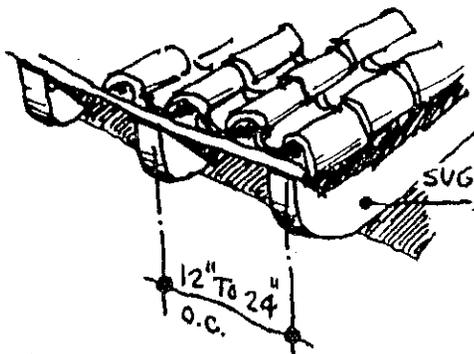
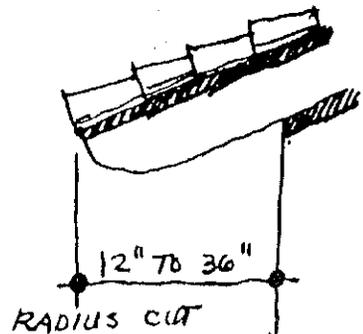
# 6.4 WINDOW & DOOR TRIM DESIGN DETAILS



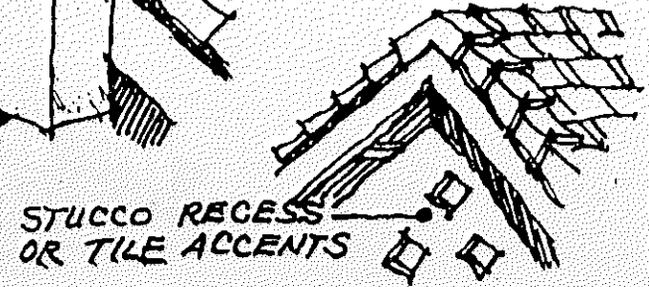
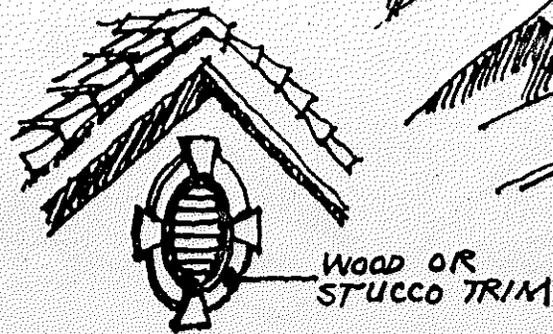
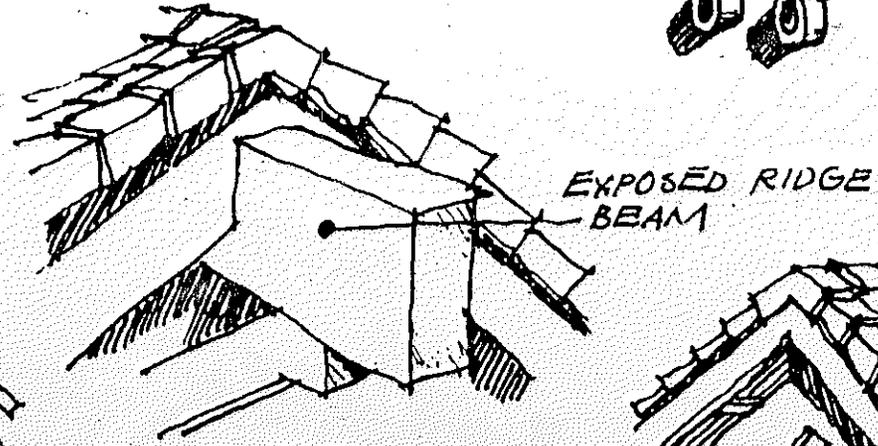
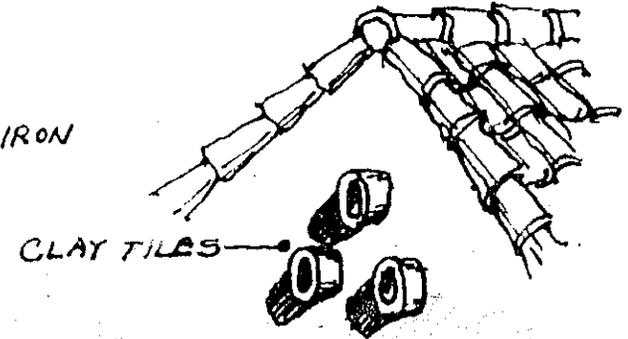
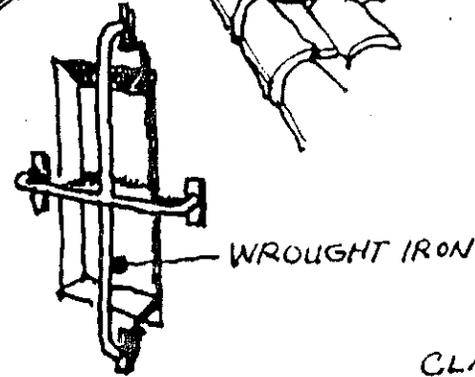
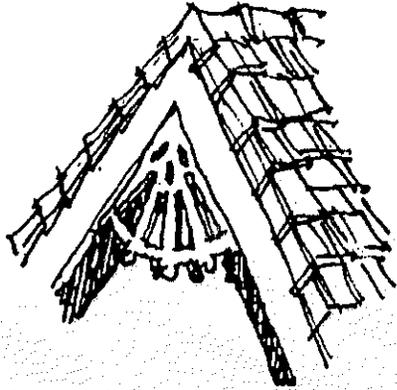
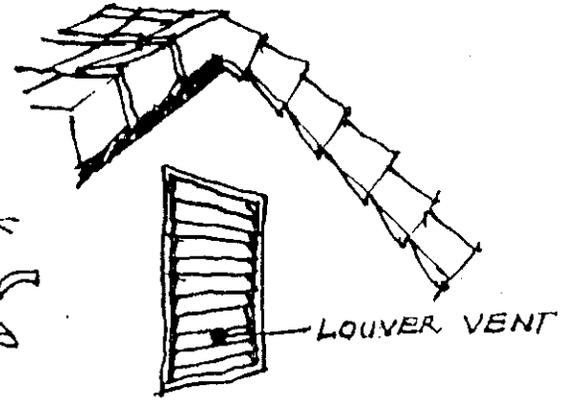
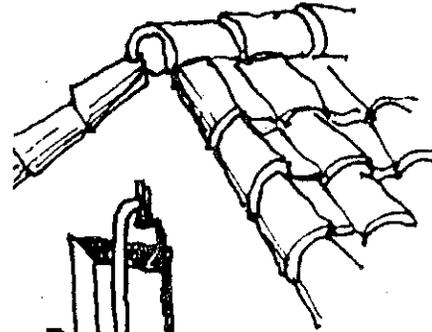
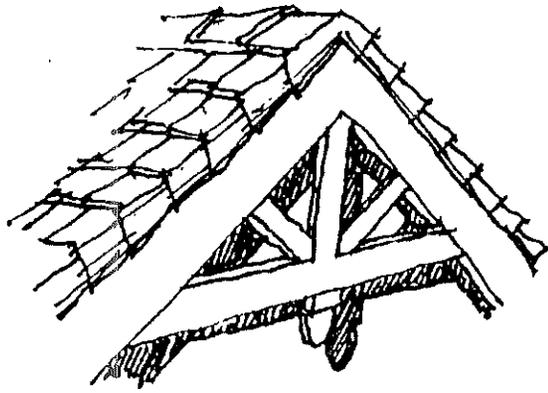
# 6.5 ROOF TYPES & FASCIA DETAILS



# 6.6 EAVE & BARGE DETAILS



# 6.7 GABLE ROOF END DESIGN DETAILS



LOUVER VENT

WROUGHT IRON

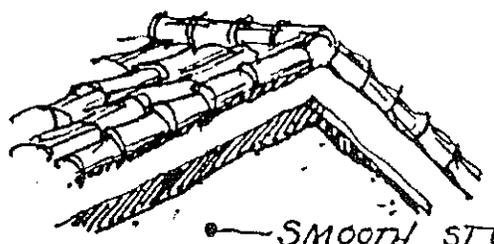
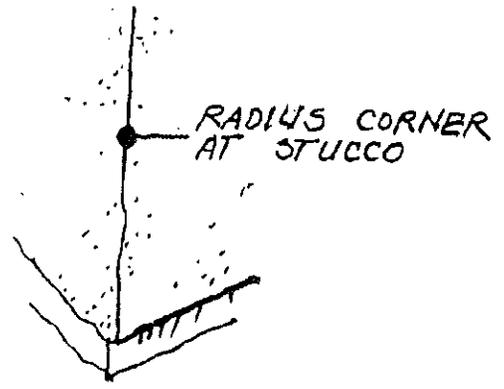
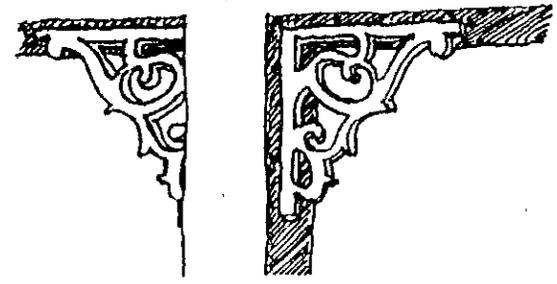
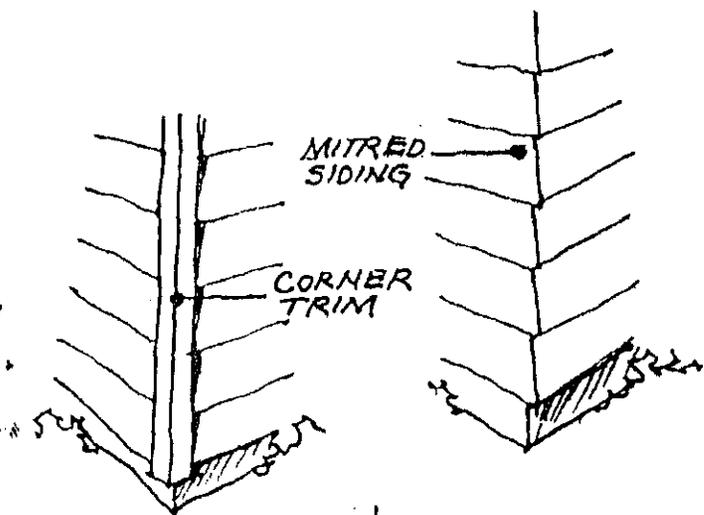
CLAY TILES

EXPOSED RIDGE BEAM

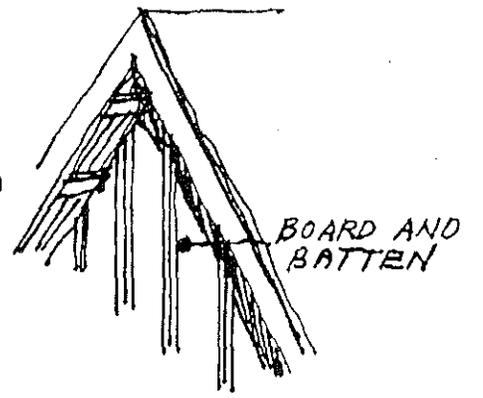
WOOD OR STUCCO TRIM

STUCCO RECESS OR TILE ACCENTS

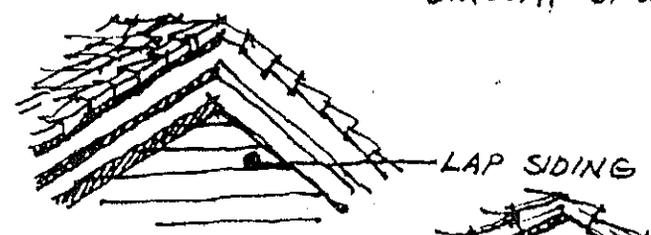
# 6.8 EXTERIOR DETAILS



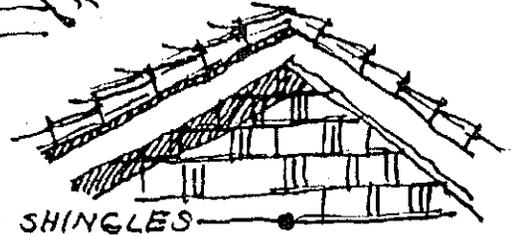
SMOOTH STUCCO



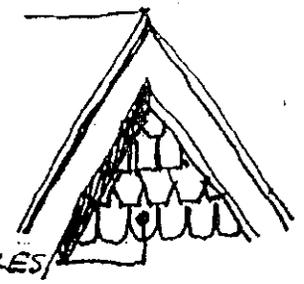
BOARD AND BATTEN



LAP SIDING

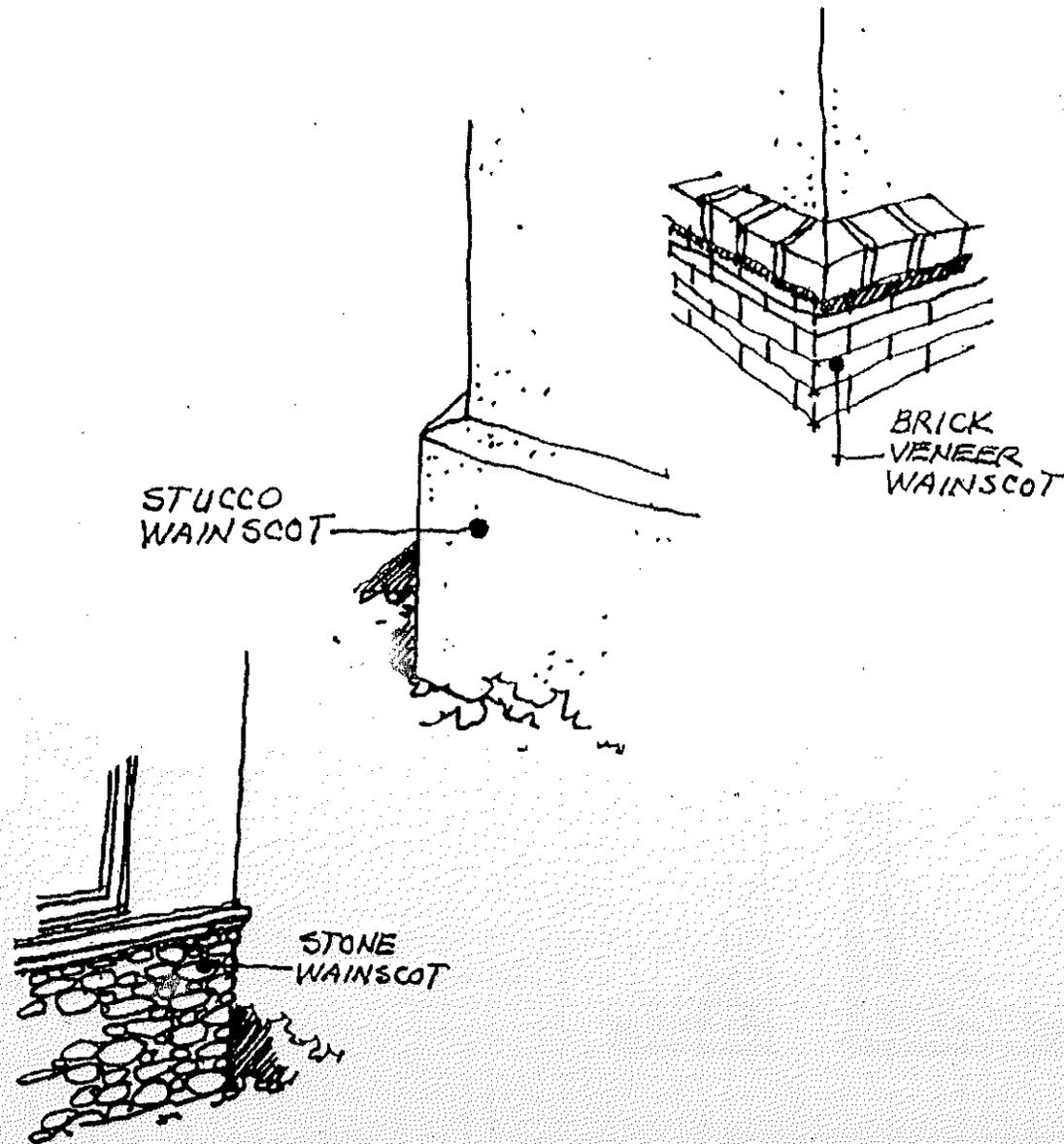


WOOD SHINGLES

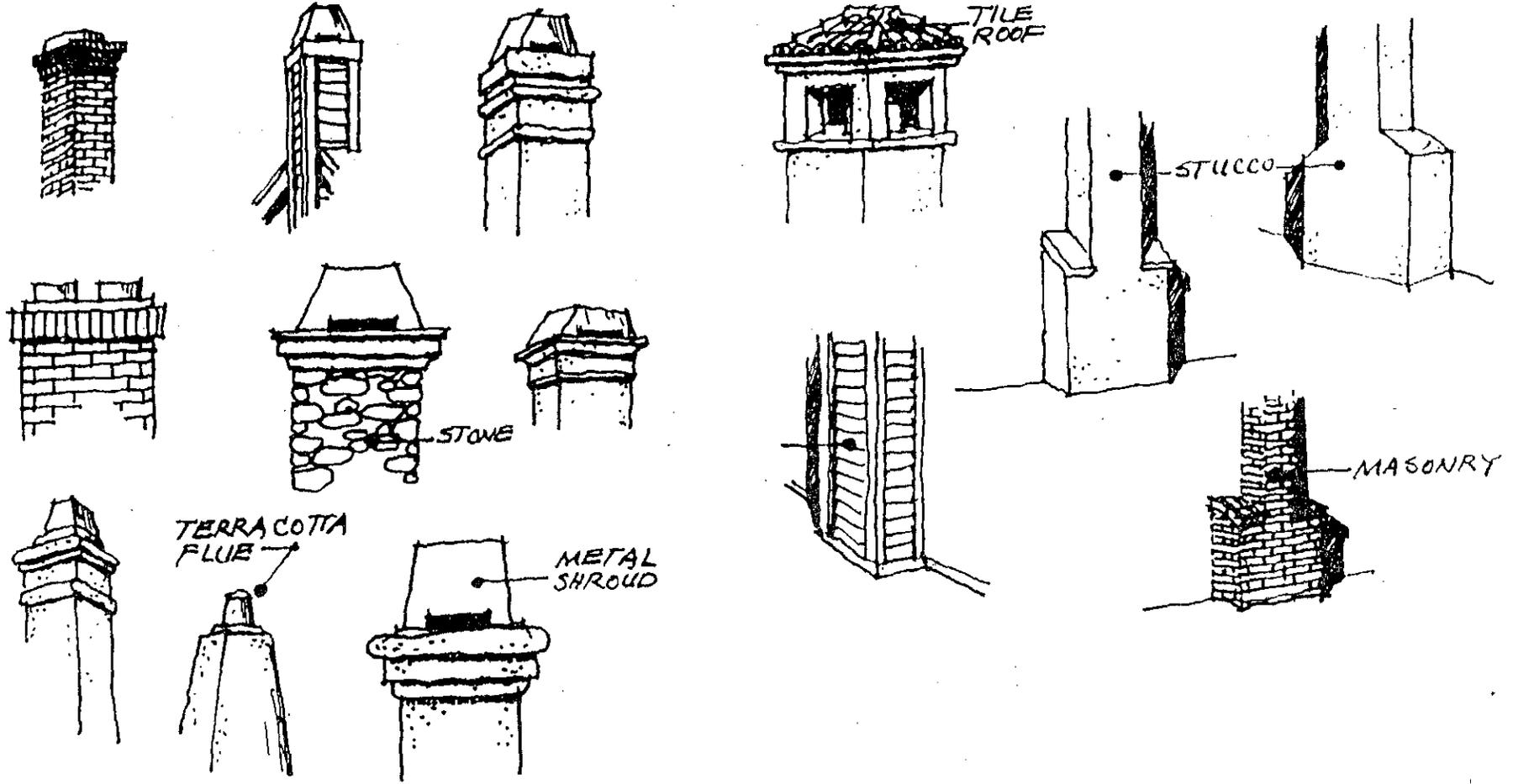


FANCY CUT WOOD SHINGLES

# 6.9 EXTERIOR FINISH & CORNER DESIGN DETAILS



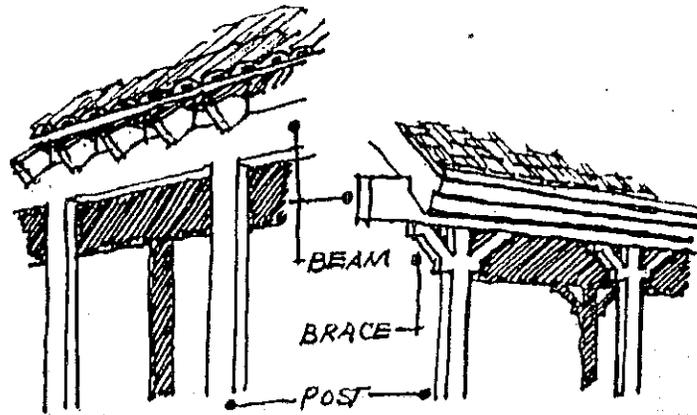
# 6.9.1 FIREPLACE & CHIMNEY DETAILS



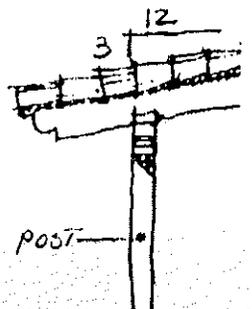
# 6.9.2 VARIOUS ARCHITECTURAL DETAILS

PRECAST  
CONC. TRIM

PRECAST  
CONC.  
COLUMN

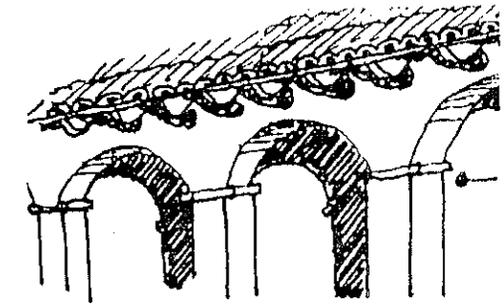
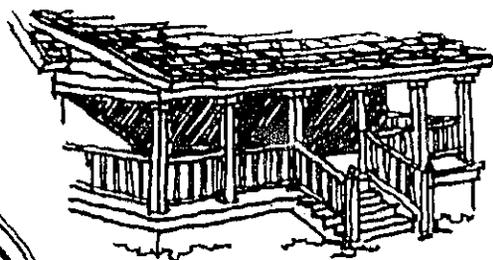
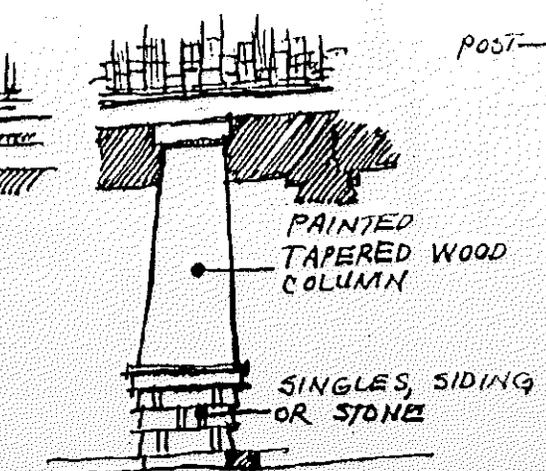
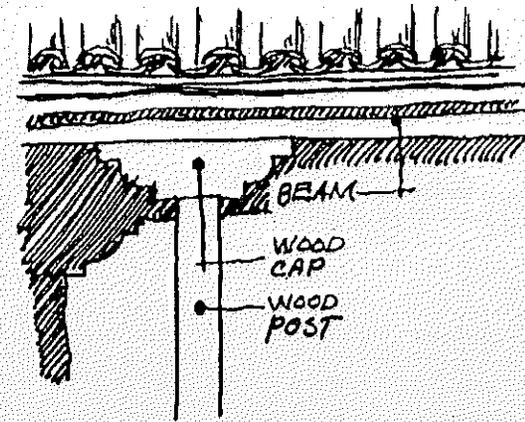


2x WOOD  
TRIM  
WOOD POSTS  
4x4 MIN.

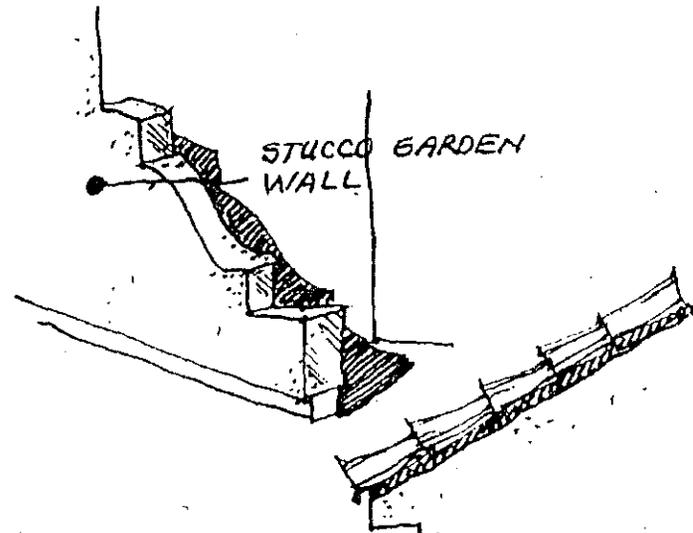
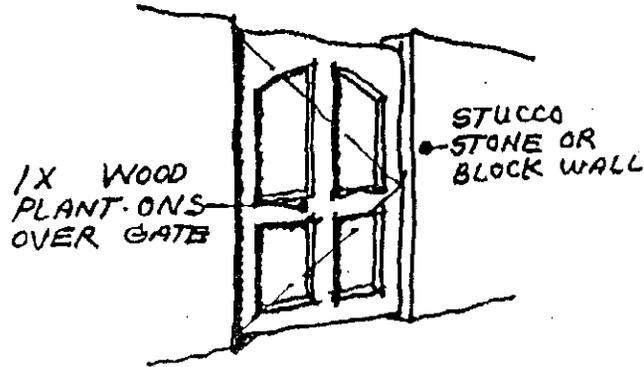


BEAM  
WOOD  
CAP  
WOOD  
POST

PAINTED  
TAPERED WOOD  
COLUMN  
SINGLES, SIDING  
OR STONE



# 6.9.4 VARIOUS ARCHITECTURAL DETAILS



GABLE END WALL CORBEL DETAIL

