



**City of Hemet**

# Single-Family Residential Design Guidelines

Adopted by City Council Resolution No. 3960 October 11, 2005

Amended by City Council Resolution No. 4706 September 27, 2016



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# **Design Guidelines for Single-Family Residential Projects in the City of Hemet**

## **1.0 Purpose**

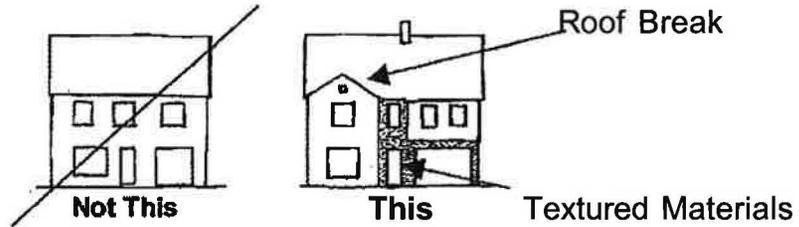
The City of Hemet adopts the following design guidelines for Single-family Residential projects in order to encourage good design for residential development that furthers the following principals:

- 1.1 Encourage quality residential development that utilizes innovative design concepts that foster conservation, diversity and community life.
- 1.2 Encourage homes which have entries with clearly identifiable front doors and porches which enhance the street scene and create opportunities for great social interaction with the neighborhood.
- 1.3 Homes should be in scale and proportion with the lot sizes.
- 1.4 Encourage visually diverse homes with a variety of architectural elements.
- 1.5 Encourage homes, which feature living areas instead of the garage as the prominent element of the structure in relation to the street.
- 1.6 Encourage the location -of open spaces to form focal points, gathering places, and recreational space for a variety of activities and age groups.
- 1.7 Encourage design which is pedestrian friendly and includes pedestrian trails and pathways to common destinations such as schools, parks, community facilities, shopping and transit.

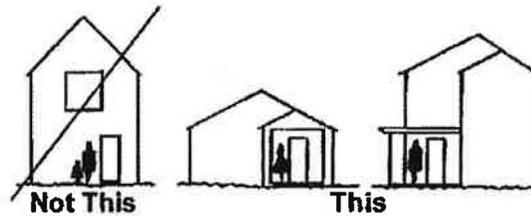
## **2.0 Architectural Guidelines**

- 2.1 Architectural styles should be complementary and should provide thematic elements such as, but not limited to the following items:
  - 2.1.1 Building styles and related design features such as Mediterranean, Spanish, Prairie, Craftsman Bungalow, Victorian, etcetera. Note: The City of Hemet does not intend to regulate any one style for a project but does require that styles be consistent within a project. [Refer to Appendix A Architectural Styles].
  - 2.1.2 Consistent roof materials such as tile, slate, cement, dimensional asphalt or similar materials. Wood shingles should not be permitted.

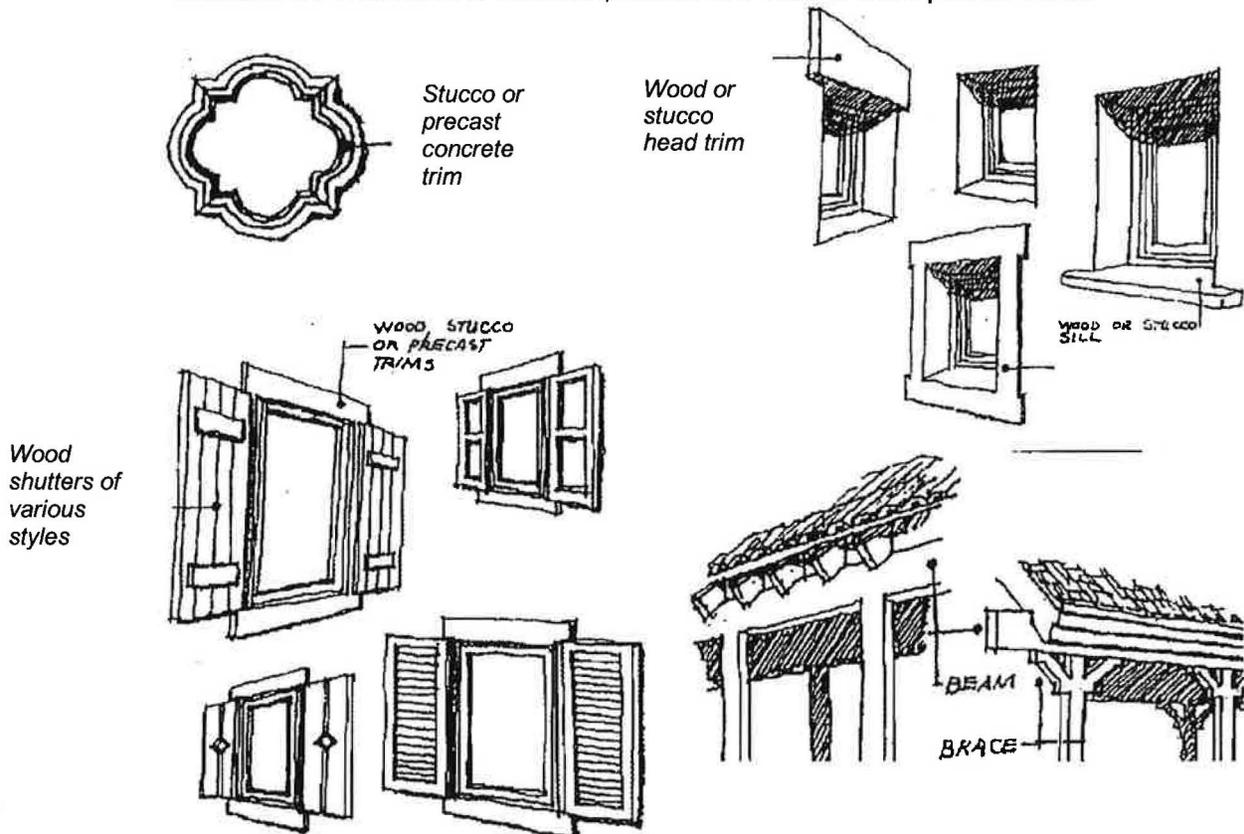
2.2 Reduce "boxiness" through building articulation, roof breaks, walls with textured materials, ornamental details, etc.



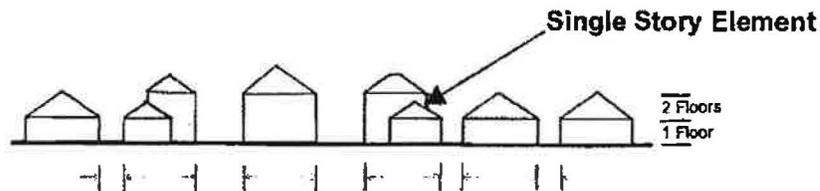
2.3 Provide human scale through use of understated entries and low-pitched roofs.



2.4 Architectural trim features such as window moldings, recessed windows, shutters, and similar treatments should be provided on front and side facades as well as rear facades, which are visible from public view.

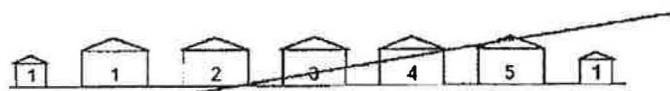
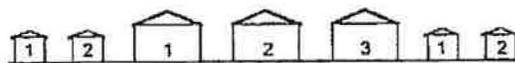


- 2.5 Provide architectural relief as required under any design guidelines adopted by City Council resolution.
- 2.6 Building heights should vary throughout the project. In reviewing building heights, consideration should be given to architectural style, rooflines, facade treatments, and distances between buildings. Additionally, all two-story homes should include both one and two story elements as part of the home design.



2.7 Homes that back onto major streets (defined as a street with a design width greater than 65' and major collector streets (defined as a 66' right of way which provides through traffic through a subdivision)) should provide the following:

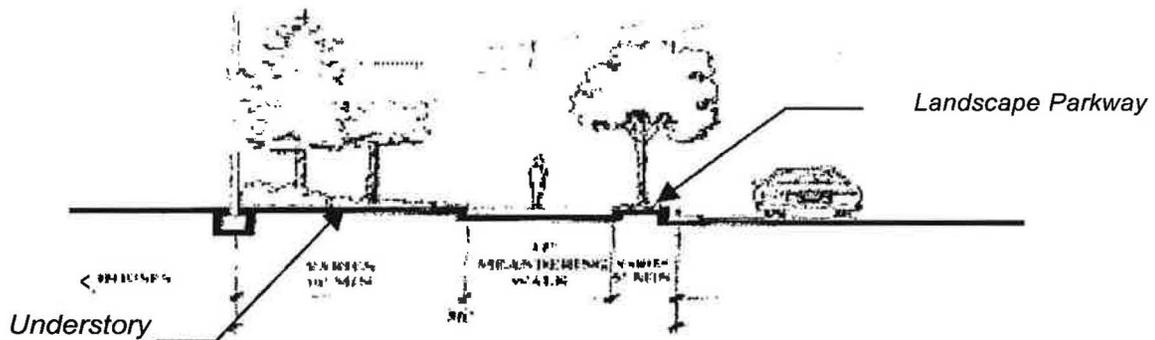
- 2.7.1 Definite mix of one story and two story homes should be integrated into the project where backing onto streets. Typically, this should include at a minimum:
  - 2.7.1.1 Provision of at least two one-story homes in a row.
  - 2.7.1.2 No more than three two-story homes in a row.
  - 2.7.1.3 Provision of one-story elements along the rear facade for all two-story homes where view fencing is provided.



2.7.2 Provision of heavily landscaped street scenes to help buffer visual impact of two-story homes. This includes, but is not limited to the following:

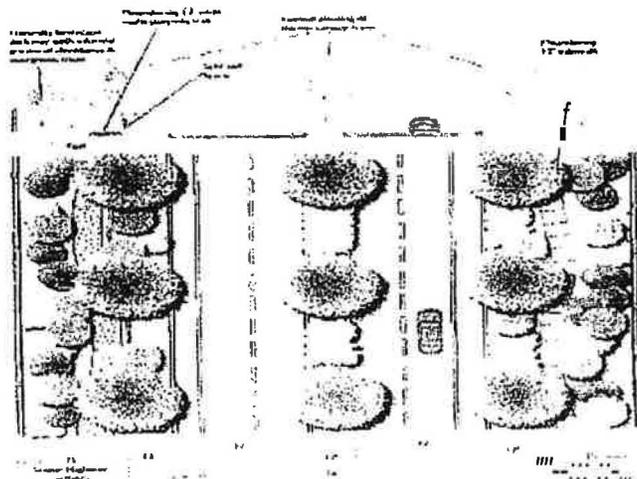
2.7.2.1 Provision of large canopy-type trees in clusters so as to provide adequate massing; which screens two-story homes from the street. Trees shall be at least 24" box size or measured a minimum of 1¾ inches in diameter twelve (12) inches about the ground when installed.

2.7.2.2 Provision of additional shrubbery to provide an "understory effect" to the trees and which should reach a height of at least 5 feet at maturity.



2.7.2.3 Provision of planted medians (with street trees) which provide additional visual relief.

2.7.2.4 Provision of wider landscaped areas adjacent to the streets to provide greater distances to homes that back onto the street. Wider landscaped areas means a distance of at least 10 feet greater than required by these guidelines or other City standards.

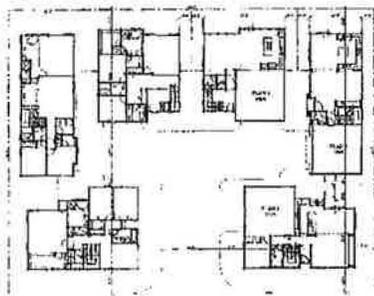


- 2.8 All new projects should respect the architectural integrity of adjoining neighborhoods and should demonstrate how the project will be compatible with those neighborhoods in terms of massing, building heights, setbacks, and architectural styles. Where appropriate, strict application of these guidelines may be waived by the Approval Body in order to maintain compatibility with adjoining homes and neighborhoods.

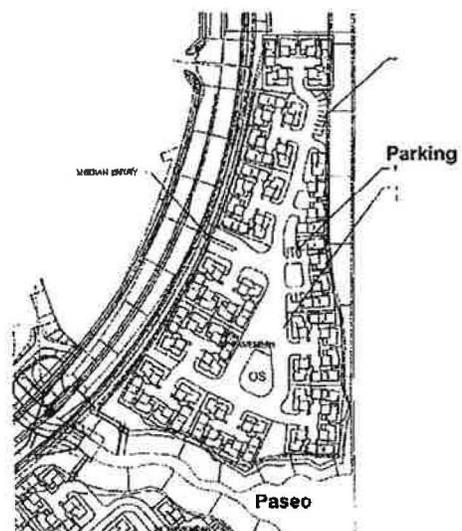
### 3.0 Lot Sizes

Refer to Chapter 90 (Zoning) of the Hemet Municipal Code for lot size requirements. Article XI (Single-Family Residential Zones) establishes development standards for lots sized from 6,000 to 40,000 square feet. Article XVI (Small Lot Residential Zone) establishes development standards for lots less than 5,000 square feet. Article XVIII Planned Unit Development Overlay District establishes the development standards for an overlay district on residentially zoned land. Article XXXVII (Specific Plan Zone) establishes standards for the processing of a specific plan and should include the following:

- 3.1.1 Specific Plans should include at least 200 dwelling units in order to provide for a variety of lot sizes.
- 3.1.2 Every Specific Plan should provide for a balance of dwelling unit types and lot sizes per General Plan policies [See Appendix C].
- 3.1.3 Lots smaller than 5,000 sq. ft. shall use innovative housing types and great amenity packages such as "Z" lots, auto courtyards, alley loaded and cluster housing.



Cluster Housing



#### 4.0 Maximum Lot Coverage

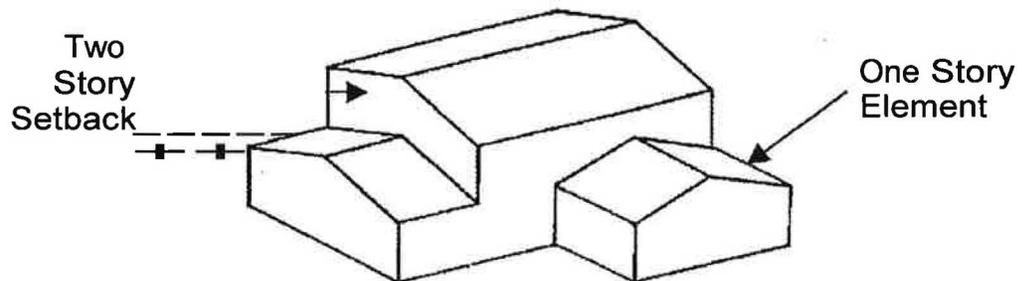
Refer to Section 90-314 (General Requirements) of Chapter 90 (Zoning) of the Hemet Municipal Code for maximum lot coverage requirements.

#### 5.0 Architectural Standards

5.1 A second story should be setback between 4 (four) feet and 10 (ten) feet from the bottom floor footprint with an average 6 (six) feet in the front and street side yards. This can be done by either:

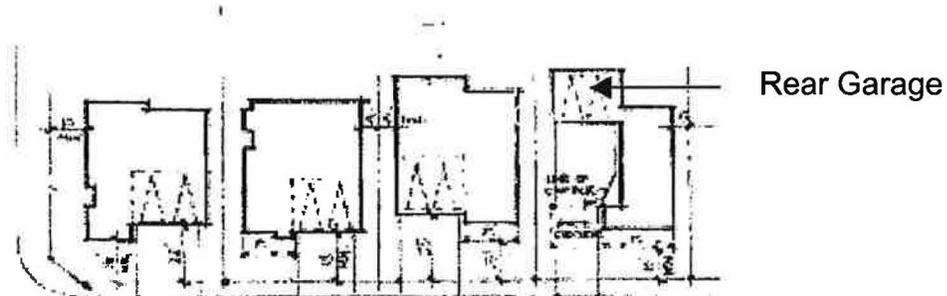
5.1.1 Providing a one-story element such as a porch or;

5.1.2 Through "resting" the second story 10 (ten) feet back from the first story facade.



5.1.3 This technique may not be appropriate for some traditional styles shown in Appendix A.

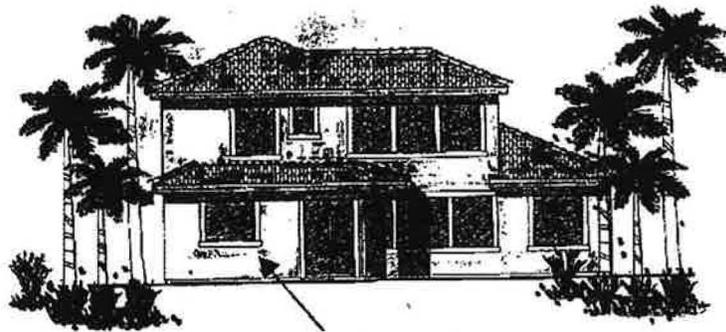
- 5.2 Provide a variety of garage setbacks throughout the project. This includes, but is not limited to design considerations such as placing garages at rear of property, aligning garages both in line with or behind living areas, and through the provision of standard front-on garages.



- 5.3 At least of any front and side facade should be of a different building material so as to provide contrast. 25 percent Side treatments should extend to at least the side return for interior lots and should extend the length of the visible side for exterior lots. (e.g. provision of wood siding in addition to stucco.) This guideline should also apply to rear elevations visible from public view. This guideline is mandatory for projects of 2 or more lots pursuant to Section 90-315 of the Hemet Municipal Code and may be waived for architectural styles which dictate uniformity of building materials.

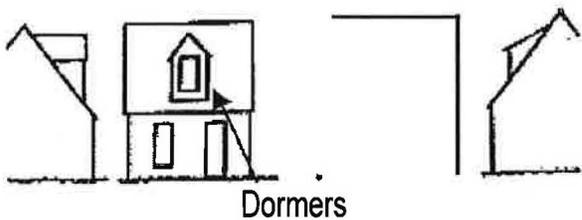


- 5.4 Provide a color palette for the entire project, which shows at least three colors (one primary and two trim) per home. At least five "palettes" should be provided so as to provide variety throughout the project.
- 5.5 Building planes on street side elevations. Avoid large flat planes and lack of detail on all elevations that are visible from a public right-of-way. All homes should provide, at minimum, the following:
  - 5.5.1 Front elevations - three (3) planes for lots less than 6,000 sq. ft. and four (4) for all lots 6,000 sq. ft. or greater in size.
  - 5.5.2 Rear elevations – two (2) building planes for one-story dwellings and three building planes for two-story dwellings.

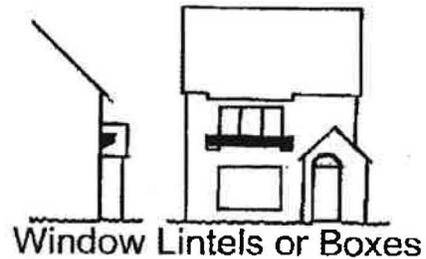


Second Building Plane

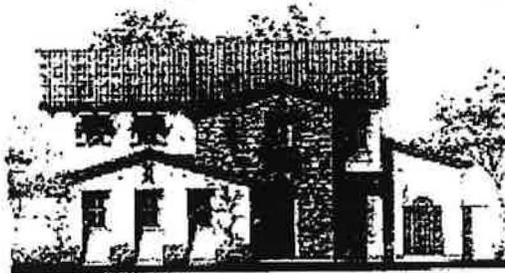
- 5.5.3 Building planes include dormers, varied windows, stone or other material overlay including a deck or window lintels. Building planes include elevation variables of more than 12 inches or more.



Dormers

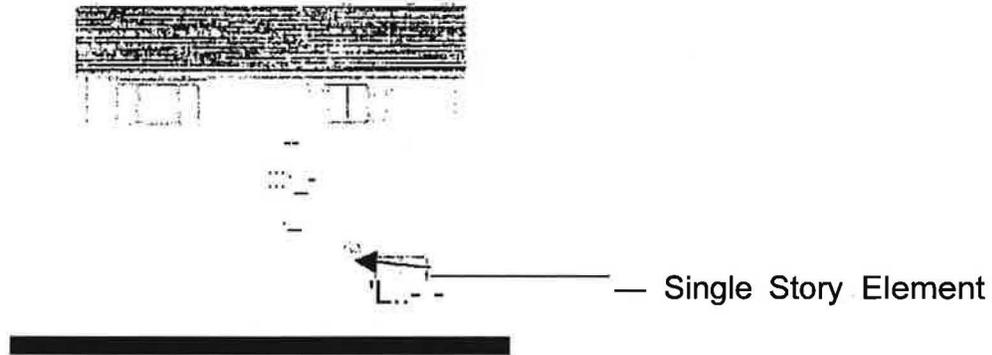


Window Lintels or Boxes



Planes with Material Overlay

5.5.4 Two story dwellings should include one story elements on rear elevations with view fencing.



5.5.5 Enhancements should be placed on all elevations facing a public right-of-way. This guideline is mandatory for projects of 2 or more lots pursuant to Section 90-315 of the Hemet Municipal Code.



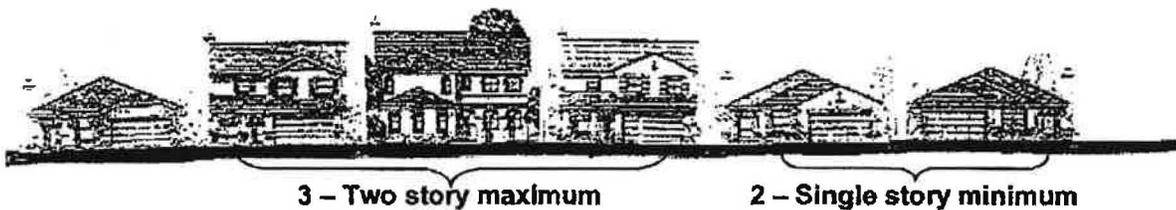
5.6 Roofing materials should be, at minimum, Class A-rated and should be comprised of concrete, clay, slate, or other durable/aesthetic roofing acceptable to the Approval Body. The roof material used within the subdivision should provide enough variation in terms of color and texture to minimize monotony. There should be no exposed roof rafter tails except for decorative purposes with appropriate architectural styles. Fascia boards, when used, should be a minimum of 2-inches nominal thickness.

5.7 A goal is to provide "smart wiring," energy efficiency and water efficiency to the maximum extent possible.

## 6.0 Second Story Dwelling Placement

Plotting of one-and two-story dwellings should provide variety and minimize the concentration of two-story units. The following guidelines should be followed pursuant to Section 90-315 of the Hemet Municipal Code

- 6.1 A minimum of 25 percent of the units in a tract/project shall be one-story dwellings.
- 6.2 For perimeter areas located adjacent to a major collector a maximum of three (3) two story dwellings should be plotted in a row. A minimum of two (2) one-story dwellings should be plotted in a row.



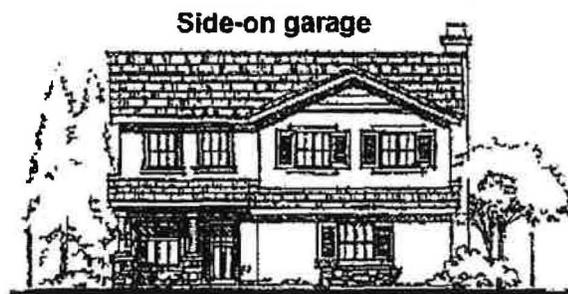
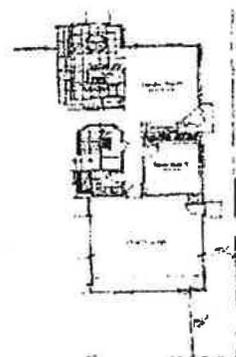
- 6.3 Only units having a minimum 15 percent single story element shall be plotted on corner lots.

## 7.0 Garage Design:

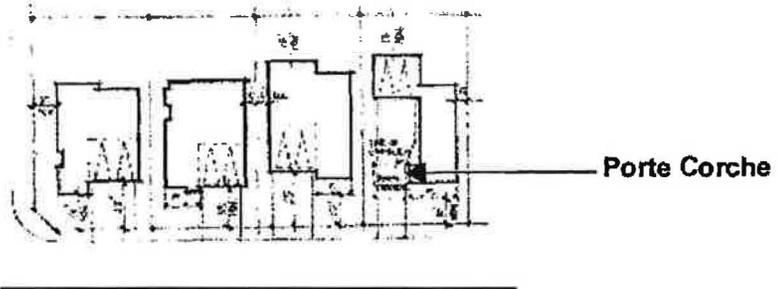
Garages should be integrated into overall house design and should not dominate front facade. The garage should not be the dominant architectural feature of the dwelling.

- 7.1 Provision in proportionate parts, a mix of the following innovative design features with the more "standard" housing elevations. Note: Not all of the following will be required but it is the intent of these guidelines to optimize use of innovation and variety and to avoid monotony, repetition of design and a "repetitive" approach to housing development in the City Of Hemet.

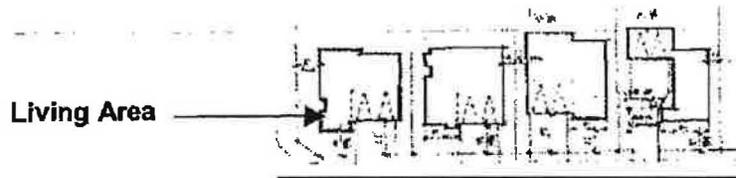
- 7.1.1 Side-on garages with windows facing the street.



7.1.2 Use of porte corches and rear garages.



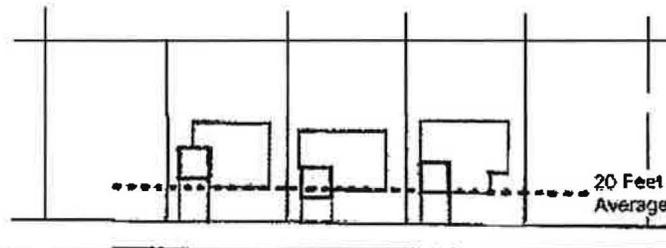
7.1.3 Use of a "habitable living space forward" concept.



7.1.4 Utilization of other design features similar to the above and as approved.

7.1.5 Utilization of an alley loaded concept.

- 7.2 To encourage varying front yard setbacks, particularly for attached garages, Section 90-314 of the Hemet Municipal Code requires setbacks to average 20 feet or more with a minimum of 18 feet for lots of 7,200 sq. ft. or greater in size. Section 90-315 requires that alternative garage orientations and variations in front yard setbacks be incorporated into project design.



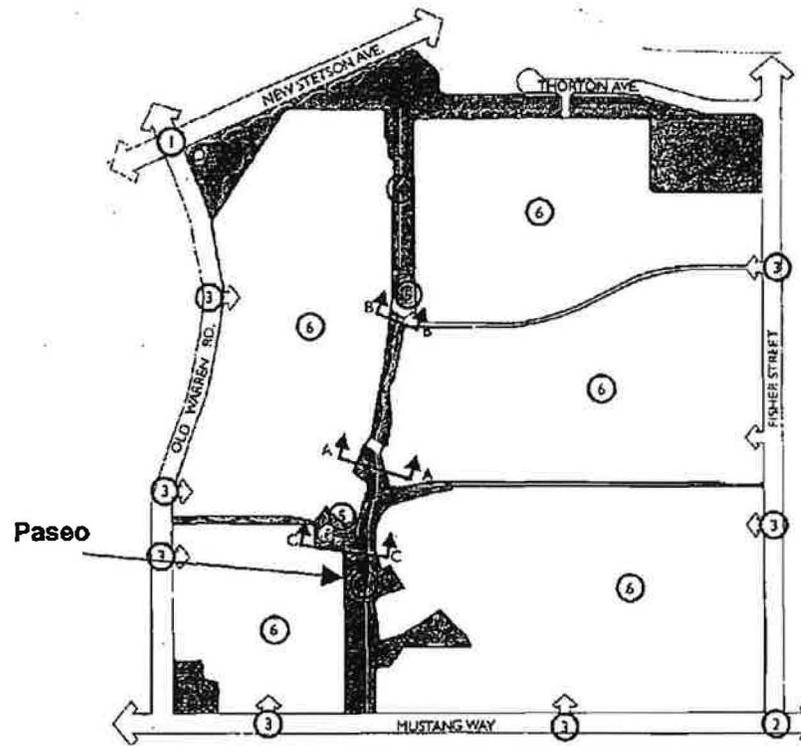
- 7.3 The amount of paving for driveways should not exceed 45 percent of the required front yard area unless there are unique physical circumstances such as parcel shape, topography, location, or surroundings.

## **8.0 Private Rear Yard Open Space**

Sec. 90-315 of the Hemet Municipal Code requires a flat useable rear yard in square footage equal to five percent of lot area.

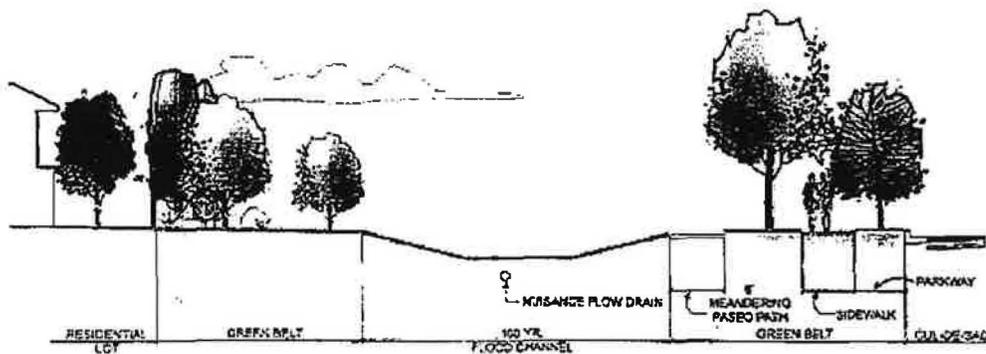
## **9.0 Open Space/Park Guidelines for all Residential Projects**

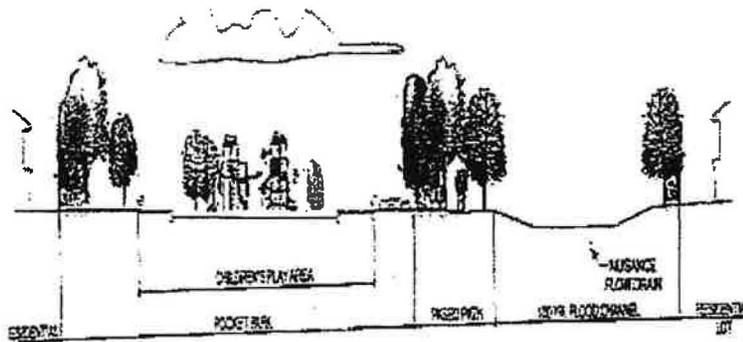
- 9.1 All open space and parkland areas should be designed to promote visibility, safety and access.
- 9.2 Paseos or enhanced pedestrian walkways should be provided in an appropriate scale of the project. Provide enhanced pedestrian linkages (e.g. meandering sidewalks with a minimum 15 foot right of way providing a "backbone" system within the project) to the following:
  - 9.2.1 Adjacent and/or nearby trail systems.
  - 9.2.2 Open space and park opportunities either within the project or nearby.
  - 9.2.3 Nearby civic, cultural, or shopping centers.
  - 9.2.4 Meandering sidewalks shall not be required for local streets with driveway loaded lots.



9.3 Utilize and design flood control and drainage ways for:

- 9.3.1 Joint use recreation facilities
- 9.3.2 Natural study and wildlife preserves
- 9.3.3 Pedestrian and bicycle corridors
- 9.3.4 Development transition area



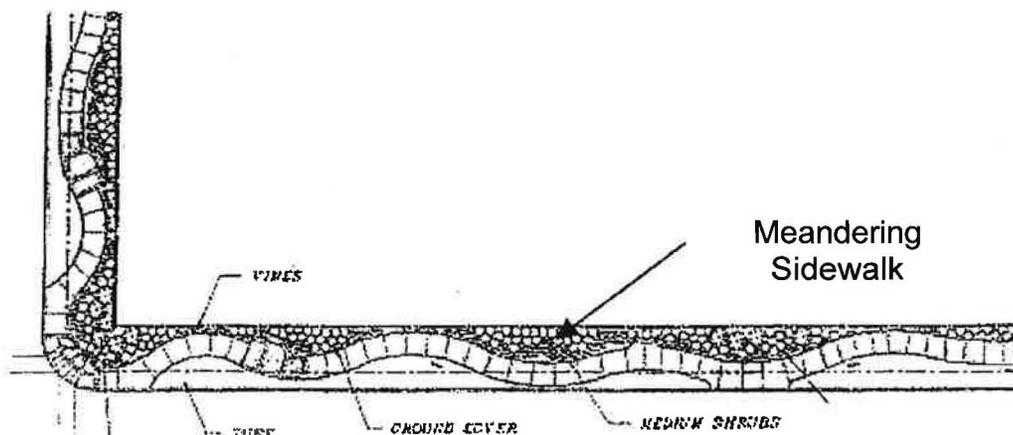


9.4 Any area that cannot be developed (such as retention basins, utility easements, etc.) should be landscaped and maintained. Where landscaping cannot be implemented due to constraints (such as small retention basins) appropriate screening and buffering should be provided. Screening should consist of at minimum:

9.4.1 Fencing with materials consistent with other publicly viewed walls within the project.

9.4.2 Landscaping with a minimum depth of five (5) feet. Landscaping should include a combination of trees, ground cover and shrubbery.

9.5 An enhanced 25-foot streetscape edge (defined from curb face and further defined as an average) is required along any street 88-feet or wider within any residential project. The enhanced edge should be comprised of at minimum:



9.5.1 A five to eight foot wide landscaped parkway with trees and tree groupings, 40-feet on center in addition to groundcover and/or turf.

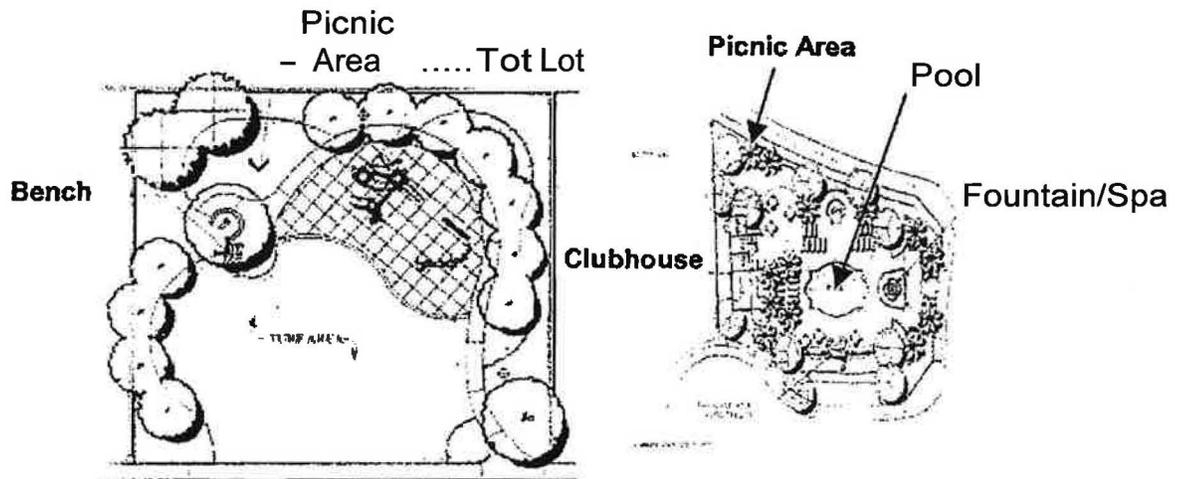
9.5.2 A five to ten-foot wide meandering sidewalk within a minimum 15-foot right-of-way.

- 9.5.3 A seven (7) to fifteen (15) foot wide landscaped area defined as a lettered lot between the sidewalk and property line walls. Said landscaped area should include tree plantings, groundcover, decorative hardscapes, and/or turf and other appurtenances as approved by the Approval Body.
- 9.6 Park Credit: Open space areas are not credited toward park requirements. However, the City may consider partial credit if all of the following exist:
  - 9.6.1 That the credit aspect is agreed to by both the City and the applicant AT THE TIME of project approval.
  - 9.6.2 The City finds that acceptance of partial credit will result in an enhanced situation over that if no credit were given.
  - 9.6.3 The area is clearly accessible to the public.
  - 9.6.4 The area is developed in a manner that is similar to a recreational park.

**10.0 Open Space/Park Guidelines for Small Lot Projects (less than 7,200 sq. ft. lots)**

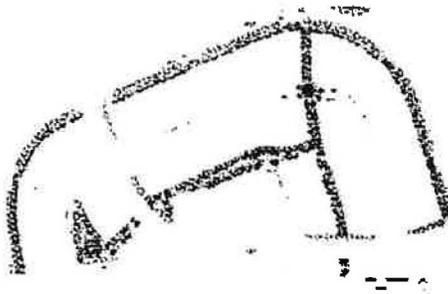
- 10.1 All items shown in section 9.0, plus the items in Sections 10.2 through 10.4.
- 10.2 Provide privately maintained common open space at a ratio of 0.5 acre per 100 homes. Exceptions to this ratio are:
  - 10.2.1 Where extraordinary amenities are provided (such as club houses, pools, spas, etc.) the ratio can be reduced proportionate to the value of the extraordinary amenities as determined by the Approval Body.
  - 10.2.2 Where other open space opportunities exist adjacent to the project and a reduction may be approved by the Approval Body including, but not limited to the following:
    - 10.2.2.1 Open space areas set aside for preservation purposes.
    - 10.2.2.2 Trails such as Class1 bike trails or equestrian trails.
- 10.3 Open space should be provided and improved prior to occupancy of any home in a Project or according to an approved phasing plan.
- 10.4 Open space and any privately maintained common area (such as entrance drives, landscaped parkways, etc.) should be maintained by a Homeowners Association (HOA) and have Covenants, Conditions, and Restrictions(CC&R's) or other appropriately recorded regulatory agreement reviewed and approved by the City Attorney which provides assurances that said open space will be maintained in perpetuity.
  - 10.4.1 Open space should include both active and passive recreation activities such as, but not limited to:

- 10.4.1.1 Tot lots
- 10.4.1.2 Gardens
- 10.4.1.3 Benches Picnic tables
- 10.4.1.4 Pools
- 10.4.1.5 Spas
- 10.4.1.6 Basketball courts
- 10.4.1.7 Volleyball
- 10.4.1.8 Sand areas



10.4.2 Paseos: All residences within a project should be able to walk to an open space area through a paseo/walkway systems. While sidewalks may be utilized in part, all projects should include at least one "backbone" paseo which traverses the length of the project. Paseos should count toward the open space requirement noted above but should not be the dominant square footage component of the open space system. Said paseo should be landscaped. All paseos should have a minimum width of at least 20-feet.

- 10.4.2.1 Fences along the paseo should be either wrought iron view fences or some combination of view fence with decorative block wall which permits some privacy while maintaining visibility of the paseo to adjoining homes.
- 10.4.2.2 Paseos should be designed to promote visibility, safety, and access. Other requirements of the paseo system are:

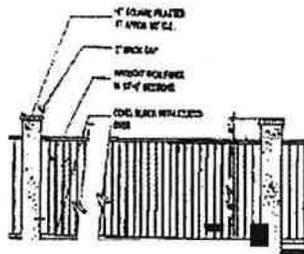


- 10.4.2.3 All paseos should have pedestrian lights which promote security while minimizing off-site glare and intrusion into adjacent homes.
- 10.4.2.4 All paseos should be easily accessible to the open space areas and to residences.
- 10.4.2.5 All paseos should include amenities such as drinking fountains, trash receptacles, benches, and shaded rest areas.

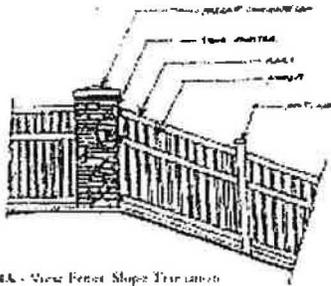
## 11.0 Wall and Fence Guidelines

Section 90-316 of the Hemet Municipal establishes mandatory requirements for walls and fences. Additionally, the following guidelines shall be applied.

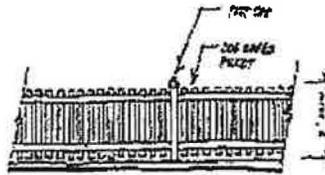
- 11.1 Project perimeter fencing adjacent to the public right of way should be required for all projects except where lots face streets.
  - 11.1.1 All perimeter fencing should be textured concrete or stucco with pilasters and caps and/or other material consistent with any adopted policy, guideline or standard in effect at time of approval.
  - 11.1.2 Wrought iron view fences are also permitted with pilasters and caps. Decorative block includes items such as split face block, slumpstone, etc., but specifically excludes precision block (unless completely covered by stucco), wood fences, and similar treatments.
  - 11.1.3 All perimeter fencing should have vines planted next to the wall to help soften the effect of block walls, with said vines being planted at least 10-feet on center.
  - 11.1.4 Other landscape techniques can be considered in lieu of vines (such as hedge plantings next to the wall) as long as said techniques helps break up the monotony of long perimeter walls and which would provide similar anti-graffiti characteristics.



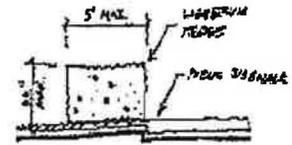
Exceptions: wood fencing, such as split rail and/or post and rail fencing may be considered in very large projects (average lot size over 10,000 sq. ft.) where the clear intent is to provide an equestrian atmosphere and rural lifestyle.



DETAIL 4A - View Fence Stone Transition



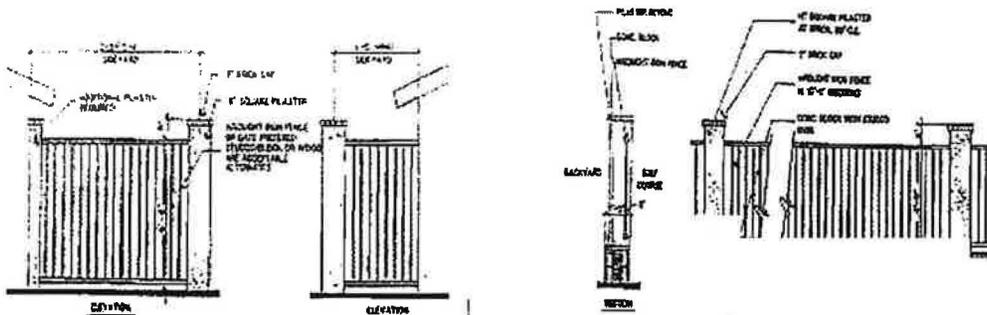
DETAIL 5 - Low View Chain Link Fence



DETAIL 6 - Low Hedge

## 10.2 Residential lot fencing:

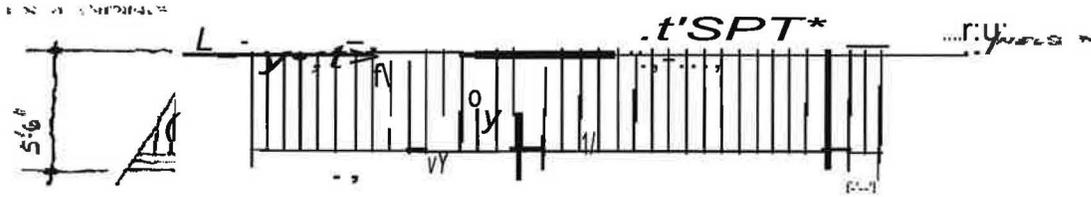
11.2.1 Walls visible to public view: any wall visible to public view (front yard returns, exterior side lot line walls, etc.) should be of the same material as the perimeter walls so as to continue a thematic element throughout the project.



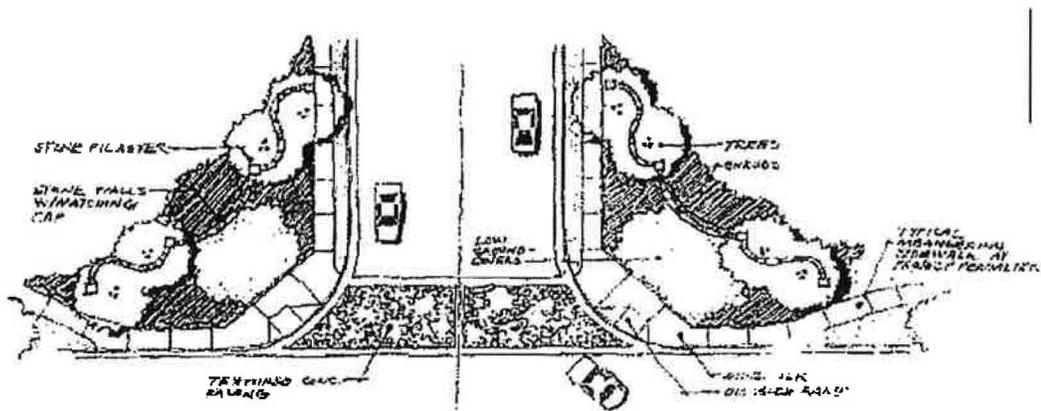
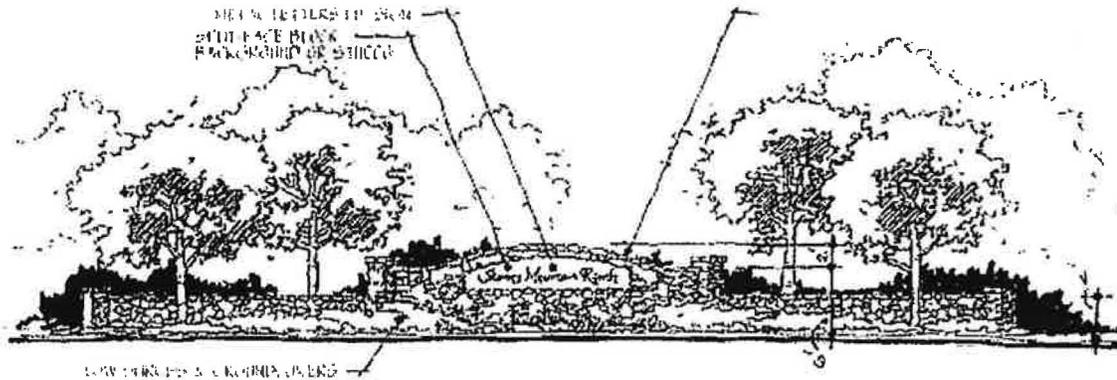
11.2.2 Gates visible to public view: Pedestrian gates (typical gates which open onto backyards) may be wood or wrought iron/tubular steel. No chain link is permitted. If wood, the wood should be painted the same color as the primary color of the adjoining home. Vehicle gates (side yard gates for RV's, etc.) should be opaque. The gate may be wood if painted the same color as the adjoining home, or a complementary color.

11.2.31 Interior lot line fences: Interior lot line fences should be comprised of masonry block walls, vinyl, wood or other materials which comply

with any applicable policy, guideline or standard in effect at time of approval.



11.3 Project Entries: Most tract home development should be provided with enhanced entries to establish neighborhood identity and develop a sense of arrival unless precluded by existing conditions.



ESPLANADE AVENUE

## **12.0 Landscape Requirements:**

- 12.1 Perimeter landscaping and irrigation. All areas outside of any perimeter wall should be landscaped and irrigated. All street trees minimum sizes should conform to the currently Approved Street Tree List, incorporated herein by reference.
- 12.2 Xeriscape or drought tolerant landscaping is encouraged for all residential projects in the City Of Hemet. At least one home in any model home complex should include a xeriscape/drought tolerant plan for demonstration purposes.
- 12.3 Minor streetscape landscaping: All streets not identified with perimeter landscaping should provide street trees and landscaping within the parkway area. Street trees should be at least the size specified in the City of Hemet Approved Street Tree List, with a maximum separation of 40 feet on-center. Irrigation to said parkway should be provided by the adjoining lot owner. Additionally, landscaping should be provided on any exterior side yard lot between the wall and sidewalk consistent with the overall theme of the project. Irrigation to said landscaping is the responsibility of the adjoining lot owner.
- 12.4 All graded slopes, equal to or greater than 3-feet in vertical height, and/or on slopes graded to a 2:1 or a greater ratio should be planted with ground cover at a minimum spacing of 12 inches on center to prevent erosion. A permanent irrigation system should be installed for all vegetation.
- 12.5 Parks and landscaped public use areas should be planted, automatically irrigated, and made part of L&LMD, or alternative maintenance mechanism acceptable to the City, prior to the occupancy of 25 percent of the homes in the subdivision or prior to the occupancy of the 51st home, whichever occurs first.
- 11.6 All public landscaped areas should be maintained by the developer for a minimum of one-year to assure continued growth and health. Continued maintenance of public areas should be guaranteed by establishment of a home-owners association or alternative mechanism approved by the Planning Director.
- 11.7 All front yards should be planted with sod and/or ground cover and automatically irrigated. Decorative rock and/or xeriscape in the front yard may be used instead of sod when installed in accordance with City standards. 20 percent of the front yard area should be planted in shrubs and appropriate groundcover.

12.8 Disclosure notices: Disclosure notices to property owners should be recorded against all properties within the project which state:

12.8.1 That they are aware of any required financing mechanisms for the project such as L&LMD's or CC&R's

12.8.2 That they are responsible for the irrigation of parkway landscaping adjacent to their home as well as any landscaping adjoining their exterior side yard and that any lack of maintenance and/or irrigation is subject to code violation actions.

### **13.0 Inclusive Design**

Inclusive design, sometimes called visitability or universal design, is a design concept that integrates basic accessibility features into newly built homes. The idea is to create a level of accessibility to accommodate visits by persons with mobility limitations or for longer-term mobility changes by the residents. The design concept is geared towards creating inclusive housing by using access to increase interactions. Builders and developers are encouraged to consider incorporating visitability concepts or other universal design concepts into home design including:

- 13.1 Zero-Step Entrance. Provide at least one step free entrance approached by a sidewalk, driveway, garage floor, or other useable route.
- 13.2 Interior Routes. Provide an accessible route through the hallways and passageways of the floor level served by the step free entrance.
- 13.3 Half-Bathroom. Provide an accessible bathroom on the floor level served by the step free entrance that provides a clear path to all fixtures and allows the user to shut the door when using the room.
- 13.4 Electrical Wall Switches and Receptacles. On the floor level served by the step free entrance, locate wall switches no higher than 48 inches above the finished floor and wall receptacles not less than 15 inches.

Appendix A  
ArchitecturalStyles

**Appendix A**  
**COMMON RESIDENTIAL ARCHITECTURAL STYLES**

Style	History	Elements
<p><b>Art Deco (1925 - 1940)</b></p> 	<p>First widely popular style to break with early 20<sup>th</sup> century styles of Revival and Beaux Arts. Smooth wall surface, often stucco; smooth-faced stone and metal; polychromy, often with vivid colors; forms simplified and streamlined; geometric designs including zigzags, chevrons; towers and other vertical projections, presenting a vertical emphasis; machined and often metallic construction materials for decorative features. Often two stories with the use of glass block and steel casement windows.</p>	<p><b>Form:</b> Geometric</p> <p><b>Materials:</b> Stucco and Glass</p> <p><b>Color &amp; Finishes:</b> White, light colors</p> <p><b>Entrances:</b> Integral with geometry</p> <p><b>Fenestration:</b> Smaller areas of glass</p> <p><b>Roofs:</b> Flat</p> <p><b>Details:</b> Minimal</p>

**Art Moderne (1930-1940)**



A later phase of the Art Deco movement. Smooth, rounded wall surfaces, often stucco; flat roof with small ledge at roofline; horizontal grooves or lines in walls (sometimes fluted or pressed metal); asymmetrical façade; casement/corner windows or other horizontally arranged windows; metal balustrades; glass-block windows, often curved. Unlike Art Deco, an emphasis is on the *horizontal*.

**Form:** Geometric

**Materials:** Stucco, Glass

**Color & Finishes:** White and light colors on smooth, uniform wall surfaces.

**Entrances:** Integral with geometry

**Fenestration:** Large continuous areas of glass

**Roofs:** Flat

**Details:** Varied by style, with aerodynamic or ship references

**Arts and Crafts/Craftsman**  
(1910-1930)



The Arts and Crafts tradition included Craftsman and bungalow styled architecture which had a design focus on the harmony of indoor and outdoor life. The movement was influenced by the earlier Mission aesthetic with emphasis on well-crafted, detailed homes that used materials left as close as possible to their natural state such as cobblestones and rough hewn beams. Wherever possible aesthetic and functional interiors were integrated in simple living spaces.

**Form:** Dormers and large flat porches are common. Square upper columns resting upon more massive piers if supporting a roof.

**Materials:** "Earthy building materials of wooden shingles, stucco. Brick and fieldstone accents. Lap siding with mitered corners or trim.

**Color & Finishes:** Rustic appearance. Stucco/wood trim and fascia should have contrasting colors.

**Entrances:** Deep porches/covered entries with shed or side hip roof forms supported by articulated columns.

**Fenestration:** Multi-paned double hung windows with shutters. Built-up "timber" look garage doors. Multi-paneled garage doors with multi-pane windows.

**Roofs:** Large simple roof forms. Interlocking gabled roofs, low pitched roofs, dormer roofs, with deep overhanging eaves, exposed rafters tails and beams. Asphalt, concrete tile shake or shingles. Wood truss gable ends.

**Details:** Vertical slat vents, decorative braces or brackets. Decorative attic vents.

**Cape Cod/Salt box (1650-1850)**



An early American style, the Cape Cod structures began as early colonial houses somewhat reminiscent of small English and Celtic rural cottages. The style has a form that placed a simple entry near the middle of the front, with one room on either side, central chimney, and a small attic used as additional sleeping areas. Original examples often used cheaper shingling on the rear and sides, and lap siding on the front. Over time, the style has added dormers and stronger entries, along with rooms behind the front rooms. The Salt box was typically two rooms deep on the ground floor, with second floor rooms only over the front-facing rooms, and the rear roof sloping down from the ridge to the first-floor eave.

**Form:** 1 ½ and 2 story symmetrical simple “salt box” massing.

**Materials:** Stone or masonry wall accents. Smooth or textured wood lap siding or shingles.

**Color & Finishes:** Smooth, sand or lace finish stucco. Smooth or wood trim stained or painted.

**Entrances:** Front porches with wood columns are railings.

**Fenestration:** Vertically hung mullioned windows, often ganged in pairs with wood trim surround painted or stained. Entry door with accent color. Louvered wood shutters in accents colors.

**Roofs:** Main roof is steep sloping front to back may be of shallower pitch. Front and rear elevations shall feature steep pitched gable roofs. Shingle, slate, or shake style flat concrete tiles. 5:12 to 7:12 roof pitch with 12" to 18" overhangs.

**Details:** Authentic types have low central chimneys. Newer versions have end chimneys. Vine covered picket fences are traditional.

**Colonial Revival (1860-1955)**



Initially inspired by the 1876 Philadelphia Centennial: new interest in American colonial past. Architects studied colonial styles throughout New England by 1890s. A dominant style for domestic buildings nationwide 1900-1940s. Georgian and Adam styles were the backbone of revival ideas, with a secondary influence of Dutch Colonial (with Gambrel roof). The colonial revival style is sometimes referred to as *Neo-Georgian*, due to its striking resemblance to the earlier Georgian and federal styles. Southern colonial style homes usually are two or three story with a characteristic colonnade extending across the front with the roof extending over the colonnade.

**Form:** Simple plan form massing square or rectangular with simple roof design.

**Materials:** Architectural quality horizontal wood, brick.

**Color & Finishes:** Pastel to cool colors with white trim. Dark color shutters. White trim on fascias.

**Entrances:** Entry porches with simple trimmed wood columns

**Fenestration:** Vertical multi-paned windows with shutters. Minimum 2x4 wood window and door trim.

**Roofs:** 6:12 to 12:12 pitch with 0" to 12" overhangs. Front to back dominant gable roof with an intersecting gable roof. Asphalt shingles or smooth flat concrete tiles.

**Details:** Round attic vents.

**Cottage Style**



A blend of English country and French eclectic styles incorporating the steep roofs, half timbers and entry treatments.

**Form:** Rectangular plan form massing with some recessed 2<sup>nd</sup> floor area. Towers with conical roofs.

**Materials:** Smooth, sand or light finish textured stucco walls. Brick or stone cladding.

**Color & Finishes:** White and earthtones. Dark color accents on trim (shutters).

**Entrances:** Rounded arches with stone quoin surrounds.

**Fenestration:** Vertical shaped windows with mullions. Double hung, casement multi-lite windows with shutters. Recessed windows with balustrades. Bay windows. Garage doors patterns complimentary to style.

**Roofs:** Steeply pitched roofs with earthtone tiles, exposed rafter tails. Main roof hip or gable with intersecting gable roofs. 6:12 to 12:12 roof pitch with 0" to 12" overhangs.

**Details:** Columns, decorative tile, brick chimneys with chimney pots. Entry accents with real or faux stone.

### English Country



This style is typically derivative of English Tudor and Cotswold houses, featuring steeply pitched roofs with strong visual character, and often dormers and large chimneys. Elizabethan or Half Timber styles are derivative with 2 or 2 ½ stories, often with part of the second story overhanging the first.

**Form:** Two-story structures, often with one-story elements. The second story may read more as a large attic when more massive roof shapes dominate the structure.

**Materials:** Stucco, authentic or simulated stone, masonry wall accents, with half timbers.

**Color & Finishes:** Natural earth colors. Smooth, sand or lace finished stucco. Rough stained or painted wood trim.

**Entrances:** Very often in small gabled pop-out vestibules.

**Fenestration:** Recessed or highly trimmed on front elevations. Small leaded casement windows for accent. Plank style wood shutters.

**Roofs:** Main roof which slopes from front to back may be of a shallower pitch. Front and rear elevation should feature steeper pitched gable or hipped roofs. Flat concrete shingle, shake or slate style materials. Ridge and hips can be accented with terracotta style clay or concrete tiles.

**Details:** Wood balcony railings. Corbel beams. Massive sculptured chimneys.

## Farmhouse



The style is typically characterized by wrapping front porches with a variety of wood columns and railings. The asymmetrical cottage look may be used. Dormers and asymmetrical elevations can also be thematic for the elevations.

**Form:** Simple two-story massing forms are broken by gables both perpendicular and parallel to the front elevation and porches covered by either shed or side hip roofs.

**Materials:** Horizontal wood lap siding.

**Color & Finishes:** Historically, usually white, but occasionally other monotone colors.

**Entrances:** Porches with simple wood columns and wood railings.

**Fenestration:** Vertical multi-paned windows and shutters. Garage door patterns complimentary to style.

**Roofs:** 6:12 to 9:12 roof pitch with architectural quality asphalt shingles or smooth flat concrete tiles.

**Details:** Cupulas, dovecotes, wood pot shelves, gable end vents. Minimum 2x4 wood window or door trim.

**French Country/French Eclectic**



This style is characterized by a steeply pitched hipped roof without dominant front facing cross gable. Eaves are commonly flared upward at the roof/wall junction with brick, stone, or stucco wall cladding, sometimes with decorative half-timbers. The style has a great variety in form and detailing, but is united by the characteristic roofline.

**Form:** Formal 1 ½ to 2 ½ story homes. Textured chimneys.

**Materials:** Stone veneer used as accent on stucco.

**Color & Finishes:**

**Entrances:** Symmetrical arched entrances surrounded by bricks or stone detailing. Entry doors with enhanced glass patterns. Heavy porch columns.

**Fenestration:** Double hung, casement or arched windows with some full-length casement windows with shutters. The curved headed upper windows often break through the cornice. Divided light windows with shutters. Diamond mullions used for feature windows.

**Roofs:** Varying pitch roof line.

**Details:** Small scaled wood and wrought iron balconies often with potshelves.

## Italianate



This is a 19<sup>th</sup> century style of house usually identified with a low-pitched, hipped roof, often with ceramic tiles and sometimes flat, hinting at its Mediterranean source region; wide, overhanging eaves with large brackets under the roofline; arched doors and windows, primarily on the first floor; Italian-style entryway, often with classical columns; facade usually symmetrical, but occasionally found in asymmetrical or picturesque floor plans. Eave brackets are typically rare on Spanish Revival and Mission-style buildings, thus making them a distinguishing feature of the Italian Renaissance period style. Interestingly, this period style tends to mimic their Italian counterparts more accurately than did the 19<sup>th</sup>-century Italianate style.

**Form:** Two story massing with one vertical and one horizontal break.

**Materials:** Stucco with cast concrete accents.

**Color & Finishes:** Mid-value saturated colors with fine to light sand finish or light lace finish.

**Entrances:** Some porches with tapered round or square simple columns.

**Fenestration:** Vertically hung multi-paned windows in front elevation and in high visibility areas, often ganged in pairs. Deep recessed windows ganged together in double and triples in front elevation. Arched top accent windows. Shutters sometimes used.

**Roofs:** Main hip roof with minor intersecting hip roofs. 3.5:12 to 4.5:12 roof pitch with 24" overhangs and stucco soffits. "S" shaped concrete tiles.

**Details:** Tapered round or square simple stucco columns, shutters, belt course trim, stone based veneers and tower elements.

**International (1925 - present)**



Starting in the early 20<sup>th</sup> century based on modern structural principles and materials; Concrete, glass, steel the most common; occasionally reveals skeleton-frame construction, exposing its structure; rejected non-essential decoration; ribbon windows, corner windows a hallmark of the style; bands of glass as important as bands of "curtain wall"; balance and regularity admired and fostered; flat roof, without ledge. Often with thin, metal mullions and smooth spandrel panels separating large, single-pane windows.

**Form:** Simple one- and two-story massing, with curtain walls and windows.

**Materials:** Stucco and glass with smooth, uniform wall surfaces

**Color & Finishes:** Typically white stucco.

**Entrances:** Often, understated entries within geometric voids.

**Fenestration:** Large areas of continuous windows.

**Roofs:** Flat, occasionally with roof terraces.

**Details:** The building form, along with windows and voids comprise abstract geometric shapes as details.

**Mediterranean** (Mediterranean Revival) - Italian Renaissance, Spanish, Eclectic, and Mission



Mediterranean style is characterized by strong unifying elements such as tile roofs, simple and uncluttered detailing, and recessed openings conveying a sense of solidity and permanence. These forms and materials traditionally provided a response to the need to provide shelter from the sun with thick walls for insulation, light colors for reflection, and recessed windows for shade.

**Form:** Plain one- and two-story boxes that may be grouped.

**Materials:** Stucco with tile flooring.

**Color & Finishes:** White, earth-toned, or pastel stucco.

**Entrances:** Inset

**Fenestration:** Muntined windows with stuccoed or stained wood trim. Stained wood doors and shutters. Arched-shaped doors and windows.

**Roofs:** Clay or concrete "S" tiles. Pyramid-shaped roofs with parapet walls.

**Details:** Wood or wrought iron balconies. Stone, wood or concrete columns.

## Monterey



The Monterey style emerged in 1853 when the New England Colonial style was updated with an adobe brick exterior and Spanish Colonial style elements. Typically, examples are two stories with long, narrow second-floor porches, and include low pitched roofs. Later examples merged Spanish Eclectic with Colonial Revival styles.

**Form:** Simple box plan form with balcony across the front at the second floor level.

**Materials:** Fine sand to California Monterey stucco finish.

**Color & Finishes:** White or dark brown trims.

**Entrances:** Porches with wood columns.

**Fenestration:** Simplified colonial style window and door trim. Single paned windows with shutters. Garage door patterns complimentary to style.

**Roofs:** Main hip or front to back gable roof front to back at 4:12 to 7:12 and shed roof break over balcony at 3.5:12 to 4.5:12 roof pitch. 12" to 24" overhangs. Barrel or "S" tiles.

**Details:** Vertical siding accents at gable ends and 2<sup>nd</sup> floor balconies. Wood balcony and railings. Round attic vents.

**Prairie (1900-1920)**



The early 20<sup>th</sup> century Prairie Style is characterized with horizontal expression and delicate proportions. The roof often "floats" with deep overhangs. Stately, strong and weighty proportions provide a massive, earthy feel. Windows are grouped in horizontal bands with vertical proportions.

**Form:** Two story massing with horizontal design elements with one story elements.

**Materials:** Stucco with sand finish or wood lap siding, horizontal banding in brick, plaster, wood or stone.

**Color & Finishes:** Wide range of earth tones with both light and dark shades with contrasting trim.

**Entrances:** Covered entries and breezeways with stucco or wood columns on stone base.

**Fenestration:** Individual windows arranged in horizontal bands. Vertical windows at first floor and accent horizontal windows at 2<sup>nd</sup> floor along belt course.

**Roofs:** Low pitched (4:12 & 5:12), wide fascias with deep overhangs, hip & gable roofs with flat tile or slate. Boxed soffits used.

**Details:** Broad flat chimneys with brick cap details.

## Ranch



Also called the California Ranch, the style is indigenous to California and is loosely based upon the horizontal Prairie style. The general character is derived from the Mediterranean, Bungalow, and 1940's Ranch styles. It consists of one and two story volumes with hip and gable roofs.

**Form:** Indoor-outdoor relationships are accentuated by such elements as: large areas of glass, sheltered porches, greenhouse rooms and corner windows. Exposed beam ends and deep fascias are used with columns and piers to create strong shadow patterns.

**Materials:** Clapboard (horizontal boards), board and batten (vertical boards), shingles and stucco. Brick or stone waiscot accents.

**Color & Finishes:** Smooth, sand or lace finish stucco. Smooth or textured wood lap, siding, shingle or board & batten siding.

**Entrances:** Porch entries

**Fenestration:** Large glass areas with or without divided lights. Trapezoid window shapes. Wood shutters with wood trim on windows. Entry door stained or painted. Stained or painted textured wood trim surrounds. Wood potshelves at windows.

**Roofs:** Low pitched (4:12, 5:12) with moderate to broad roof overhangs and eaves. Flat asphalt or concrete tile.

**Details:** Exposed ridge beam extensions with bracing.

### Santa Barbara



The Santa Barbara style is a composite style mixing various Spanish and Mediterranean elements.

**Form:** Two story massing with strong one story elements. Simply articulated two story boxed plan massing with not more than 50% one story element across the front elevation.

**Materials:**

**Color & Finishes:** Fine to light sand finish, light lace finish stucco or California Monterey stucco. Vertical siding accents at gable ends and second floor. Whites, painted brick, white or dark brown trims.

**Entrances:**

**Fenestration:** Simplified Colonial style windows and door trim. Vertically hung windows at sides and rears, often ganged in pairs.

**Roofs:** 4:12 to 5:12 pitch with 12" or 18" overhangs. Simple hip or gable roof with one intersecting gable roof. Shed roof often over porch. Barrel or S shape concrete roof tiles.

**Details:** Arched stucco column porches. Wood balcony and railings. Oranate chimney top trim, shutters, and round tile attic vents. Wood corbels, recessed accent window. Arched and sloping fin walls.

**Spanish (Colonial, Eclectic)**



Taking architectural clues from Spanish missions, along with details from Spanish Renaissance architecture, this style is an amalgamation of design visions of Spanish colonial architecture in hindsight. The style works well in California and the American southwest because of its adaptability to materials such as conventional framing, stucco, and tile that are suited to modern construction techniques and climate.

**Form:** Two story massing with strong one story elements.

**Materials:** Stucco

**Color & Finishes:** Smooth sand or lace finished stucco. Stucco wainscot in accent colors. Dark stained or painted brown wood trim.

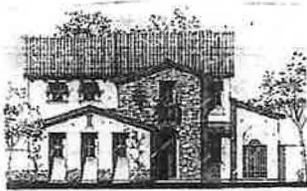
**Entrances:** Arched stucco column porches.

**Fenestration:** Muntined windows with stuccoed or stained wood trim. Vertically hung 9 and 12 paned windows often ganged in pairs. Stained wood entry door. Stained wood plank shutters. Garage door patterns complimentary to style.

**Roofs:** Main roof sloping front the front to back may be of a shallower pitch. Front and rear elevation gables on hips shall be shallow pitch. Clay or concrete "S" tiles for Mediterranean styles. Simulated shake or shingle style flat concrete or clay "S" mission tiles for California or Monterey elevations. 4:12 to 5:12 roof pitch with 12" to 18" overhangs.

**Details:** Wood or wrought iron balcony railing. Radius stucco arches. Stone, wood or concrete columns. Stuccoed or wood corbels under soffits.

## Tuscan



Planes with Material Overlay

The Tuscan style is typically a modern iteration of traditional Italian vernacular forms that combine lower-pitched roofs, inclusion of stone, tiled roofs, and often, formal detailing.

**Form:** One- and two-story massing with strong one story elements.

**Materials:** Stucco and Stone

**Color & Finishes:** Smooth stucco. May include stucco wainscot in accent colors. Dark stained or painted brown wood trim.

**Entrances:** Depending on the example, simple prominent doors or highly stated entry features.

**Fenestration:** Muntined windows with stuccoed or stained wood trim. Stained or painted wood entry door. Painted wood louver shutters. Garage door patterns complimentary to style.

**Roofs:** Main roof sloping front the front to back may be of a shallower pitch. Front and rear elevation gables on hips shall be shallow pitch. Clay or concrete "S" style tiles. 4:12 to 5:12 roof pitch with 12" to 18" overhangs.

**Details:** Wrought iron balcony railing. Stone or stucco arches or columns. Stuccoed or wood corbels under soffits.

## Appendix B

### Glossary of Architectural Terms

## GLOSSARY OF TERMS

### **Adobe, or adobe block**

A building material composed of compacted earth, clay, and straw mixed with water, originally unfired, usually covered with a protective sealer for preservation, typically used in the American Southwest or Latin America. Adobe blocks and masonry products with a similar appearance are often used to impart a pueblo or Spanish colonial building style.<sup>1</sup>

### **Alameda**

In Spanish, a promenade or garden used for passage, possibly with trees or hardscape, but little other landscape.<sup>2</sup>

### **Alley**

A service access driveway, meeting Minimum Street Design Standards of the City of Hemet, used in common by adjacent properties, but not part of those properties, typically located at the rear of lots.

### **Applique**

"An accessory decorative feature applied to a ...structure."<sup>2</sup>

### **Arbor**

A walkway covered by a framed but unroofed structure, often with overhanging landscape, similar to a pergola (a covered space) or a gallery (a roofed walkway).

### **Arcade**

A series of arches forming a single architectural element.

### **Arch**

A curved element, currently usually round or elliptical, spanning a wall opening.

### **Avenue**

In terms of landscaping, a double row of trees on either side of a street or walk.

### **Balcony**

A platform projecting from a wall and enclosed by a railing or parapet.

Conventional (as above), or

French style (an upper-floor exterior door protected by a railing).

Compare to decks, loggias, and verandas.

### **Balusters and balustrade**

Smaller posts supporting the upper rail of railings, also used to limit the size of openings within railings to meet building codes. A repeating row of balusters would be a balustrade. Balusters are more often rounded (or turned), decorative posts,

sometimes referred to as colonettes. Lighter, wooden balustrades have come to be called banisters.<sup>2,3</sup>

**Band**

"A flat member, usually horizontal or nearly so, decorating or serving to divide a wall when treated architecturally...[and] the special varieties of band are indicated by the terms string course, sill course, lintel course, frieze, plat [flat, near fascia] band."<sup>2</sup>

**Banister** - See Balusters

**Bargeboards**

Trim pieces hanging from gable ends of roofs, as fascia would hang from eaves. Ornamental bargeboards were occasionally used in some building styles, such as Carpenter Gothic, Arts and Crafts, or Craftsman. Also referred to as vergeboards, gableboards, barge rafters, fly rafters, or gable rafters.<sup>3</sup>

**Bargecourse**

"The whole projection of a gabled roof beyond the gable wall."<sup>2</sup>

**Barger rafters** - See bargeboards.

**Batten**

"Any thin and narrow strip of wood such as may be used for nailing over the joints between the boards of the siding of framed houses."<sup>2</sup>

**Batter**

"A slope, especially a slight inclination from the perpendicular; specifically, the slope given to the face of a wall," with the width of the wall greater at the base to support weight.<sup>2</sup>

**Bay Windows** - See windows.

**Bow Windows** - See windows.

**Belvedere**

A building commanding an interesting view.

**Boschage**

An urban design term referring to the general pattern of trees and landscape.

**Bracket**

A support, possibly decorated, for a projected element.

**Bricks and Brickwork**

Fired clay building material with a rectangular block shape. The longest side is referred to as a stretcher, and the depth is referred to as a header. Construction is in courses according to particular construction styles, or bonds (American, English, Flemish, Herringbone, Plumb, Running, etc.). A lacing course is one or several courses inserted in stone or other walls as a bond course.<sup>2</sup>

**Building projections**

A small portion of a structure projecting beyond the exterior of that structure, often referred to as pop-outs, bay windows, etc.

**Canopy**

An ornamental, roof like element, also called awning or marquee.

**Cap**

A top piece covering the top of typically a wall or pilaster. On columns and some pilasters, it would more appropriately be referred to a capital. Also called coping.

**Chair-rail Molding**

A molding used to prevent chairs from damaging interior walls, typically about three feet above the floor.

**Check**

In stone masonry, a notched stone into which is placed another stone.<sup>2</sup>

**Chimney**

A device that encloses flues to carry smoke out of a house. In relevant usage, a structural and decorative element used to vent fireplaces, rising above the roof, and possibly discernibly located at an exterior wall. In this case, chimneys typically contain styling cues and materials from the house. Chimneys can also be faux chimneys that serve no purpose other than providing architectural relief for a roof.

**Chimney Band**

In current usage, a decorative band around a chimney.

**Chimney Pots**

Flue coverings on the tops of chimneys, plain or decorative.

**Chord**

In geometry, the straight line between the ends of an arc.

**Clerestory Window** - See windows.

### **Columns (including Bases, Capitals, and Entablatures)**

Vertical pillars or posts. Typically, columns are round in plan view. They may be constructed atop a base, and include a top or cap, called a capital. When supporting horizontal elements, the horizontal element is referred to as an entablature (that would have been highly decorated in Greek, Roman, or other classical architecture. Columns may be uniform in plan view, or can vary with fluting or tapering. Columns, and especially capitals have been traditionally characterized as Corinthian (highly decorated), Doric (relatively more plain, and without a base), Ionic (scrolled), and Tuscan (most plain). Some authorities include a composite Roman style. More recent building styles usually include the standard classical base, column, capital, and entablature structural features, but usually understate capital and entablature features such that they are not decorative.<sup>3, 5</sup>

**Coping** - See Cap.

### **Corbels**

A support or bracket projecting from a wall to provide support for structural features above. Corbels are usually more solid and more decorative than simple braces.

### **Cornices or cornice bands**

<sup>2</sup>"The uppermost section of moldings along the top of a wall, or just below a roof."

**Dado** - See Wainscot.

### **Deck**

A platform raised above ground level, with open space below.

### **Dentil molding**

A horizontal molding composed of a series of individual dentils, or rectangular blocks, typically located below the roof line cornice, but potentially located anywhere.<sup>2</sup>

### **Dormer**

A boxed-in and roofed window set vertically on a sloping roof. Its roof is usually gabled or shed-roofed.<sup>3</sup>

### **Eave**

The exposed edge of the roof structure, or the underpart of a sloping roof hanging over a wall.<sup>6</sup>

### **Enhanced Paving**

Decorative paving used for accent purposes.

**Eyebrow**

A shallow, semi-elliptical or semi-circular shape, most typically used for small porch or dormer roofs on Craftsman-style houses, or arbors.

**Façade**

A building face or elevation.

**Facing**

"A covering applied to the outer surface of a building," akin to siding or sheathing.<sup>6</sup>

**Fanlight**

Semi-circular or semi-elliptical window above a door.

**Fascia**

A horizontal trim board attached to the outer portions of an eave, or to extending rafters.

**Fences and Walls** (See also railings)

In current local usage, fences refer mostly to solid or open fences of wood, wrought iron, etc., and walls refer to masonry walls typically located around project perimeters or project boundaries.

**Fenestration**

A building's system of wall openings such as windows and doors.

**Fluting**

Shallow, concave vertical grooves on a surface, often on a column.

**Fly Rafters** - See bargeboards.

**French Door**

A door composed of windows, often in pairs, or a window extending up from floor level.

**Gable**

The triangular, upper portion of a wall section below the roof on structures with gable roofs (also called double-pitched roofs).

**Gable Rafters** - See bargeboards.

**Gableboards** - See bargeboards.

**Gallery**

"A room or hall much longer than its breadth," sometimes also a balcony for performers.<sup>2</sup>

**Gambrel Roof** - See Roof types.

**Garage**

A fully enclosed parking space, may have additional non-parking space.

**Doors**

Sectional Roll-up - A sectional door that rolls toward the interior ceiling.

Tilt-up - A single-section door that tilts out and then up.

**Types**

Double - Two, side by side parking spaces.

Front-on - A garage with doors facing the front or alley frontage.

Side-on - A garage with doors facing away from the street or alley frontage.

Single - One parking space.

Tandem - Two, end to end parking spaces.

Three-car - Three side by side parking spaces.

**Gazebo**

A freestanding, roofed structure, usually open on the sides.<sup>4</sup>

**Half-timbering**

A method of construction, prevalent in medieval Europe, in which the timber framing, and sometimes framing with framing, was left exposed, with void spaces filled with other available materials. Some post-and-beam colonial American buildings, particularly barns, used this type of framing, but typically had siding applied to minimize drafts and the effects of the harsher New England climate. Victorian, Tudor, and Stick styles often applied external timbering that visually alluded to the medieval model, and was called false or ornamental half-timbering.<sup>3</sup>

**Hardscape**

Outdoor space improvements such as paving, benches, fountains, etc.

**Joint**

The place at which two pieces of material meet. There are numerous types of joints for various materials such as stonework, wood, plumbing, etc.<sup>2</sup>

**Kicker**

A simple wooden bracket of several pieces often used to support roof gable courses on the gables of Arts and Crafts or Craftsman style houses.

**Knee Brace**

A bracket that is typically wooden and includes bent or curved interior portions, often used in decorative supports of overhangs or eaves in some styles of houses

between the late 1800s and the early 1900s such as Italianate, Queen Anne, Gothic Revival, Arts and Crafts, and Craftsman.

**Lath or lathing**

Thin strips of wood or steel material used for securing other materials.

**Lattice**

A system of regular intertwining bars or strips of lath used to provide privacy, for decoration in wall openings, or somewhat open fencing. The style varies between parts of the world. Currently, most often used in fencing. Previously, often used in open, porch gables of Craftsman style houses.<sup>2</sup>

**Leveler**

In stone masonry, a small stone inserted to provide a level surface for part of another stone in a higher course of stones.<sup>2</sup>

**Lintel**

A horizontal member spanning a wall opening. Currently, also used as trim above windows.

**Loggia**

"In Italian architecture, a roofed structure open on at least one side and affording a protected sitting place out of doors." <sup>2</sup>

**Mansard** - See Roof, Type, Mansard

**Materials**

Aggregate - Fragmented hard material, typically used in concrete.

Brick

Foam

Stone

Wood

Wrought Iron - Currently, a metal cast, molded, or shaped, often tubular steel.

**Mews**

In modern British terminology, a court, small street, or yard upon which open garages or residences, similar to a modern, American auto court.<sup>2</sup>

**Mezzanine**

Traditionally, a "partial low story introduced in the height of a principal story; hence, any subordinate story intermediate between two main stories." <sup>2</sup> In current practice, an upper area defined by its partial lack of exterior walls by the Uniform Building Code, as in the current term "loft." See also, One and One-Half Story Building.

**Molding, or Moulding**

A decorative strip or piece of material, applied onto another piece of material or where two material planes meet. Strips are often wooden, but may be other materials in modern construction, especially in exterior applications. Many molding strips have concave, convex, or combinations of profile shapes. Webster's lists some common molding profiles as fillet and fascia (squared and projecting), torus (convex), reeding (with insets), cavetto (convex under a squared and protruding top plane), scotia (convex over a squared and protruding lower plane), congé (similar to fillet and fascia, but concave), and beak (combination upper convex and lower concave shape reminiscent of a bird's beak).

**Monument**

In current local usage, a project entry feature that identifies a project or community area.

**Mortise**

A hole, groove, recess, or slot, typically long and narrow with parallel sides, formed within one piece of a structural material for the purpose of receiving and holding securely another corresponding part such as a tenon.<sup>2</sup> Materials may be joined in a dovetailed fashion. On Arts and Crafts, Craftsman, and traditional Japanese style buildings, such joinery is often found on porches, railings, and eaves.

**Mullion**

A slender, vertical frame piece within a central portion of a wall opening or window, often used to denote dividers between window panes.<sup>2,4</sup>

**Newel**

A continuous, vertical central axis of a circular staircase that supports projected stair treads.<sup>2</sup>

**Niche**

A recess in a wall.<sup>6</sup>

**Nose**

A projecting edge or angle.<sup>2</sup>

**Offset**

A dimension or distance perpendicular to the main line of direction.<sup>2</sup>

**Ogee**

A double or S-shaped curve, particularly in a molding.<sup>2</sup>

**One and One-Half Story Building**

A building which utilizes attic area as an additional story, in current practice, typically defined as a mezzanine level under the Uniform Building Code. Such a

building would not have a separate exterior wall for the attic story, but would use dormer windows or skylights for light and air circulation.

### **One- and Two-Story Building Forms, Combinations of**

In current local practice, applying distinct one-story rooms or porches to two-story buildings to provide a more varied abstract building shape.

**Oriel** - See Windows

### **Outlooker**

A bracket that is typically wooden, often used in decorative supports of gable eaves or courses in Arts and Crafts and Craftsman style houses, similar to a knee bracket.

**Palladian Window** - See Windows

### **Parapet**

A short wall surrounding a roof or balcony.

### **Party Wall**

A common wall built between abutting buildings or sections of buildings.

### **Paseo**

Traditionally, a public walk or boulevard akin to a promenade. In current usage, a system of meandering sidewalks within a landscaped area.

### **Paving**

Asphalt  
Decorative  
Portland Concrete Cement

### **Pediment**

A low-pitched triangular gable on the front of some buildings in the Grecian or Greek Revival style of architecture.<sup>3</sup>

### **Pergola**

A covered outdoor area similar to an arbor, with a roof that may be projecting from the main structure.

### **Perspective**

The three-dimensional graphic representation of an object as it actually appears, or would seem to appear since distortions are likely in some point of the representation. The most common architectural perspectives are oblique and bird's-eye. Perspective drawings typically use several vanishing points, horizontal

and vertical. Angular perspectives would not employ a vertical vanishing point, and all vertical lines would be parallel.<sup>2</sup>

### **Pilaster**

A rectangular support which resembles a flat column, and may be free-standing or part of a wall. When part of a wall, the pilaster projects only slightly from the wall, and has a base, a shaft, and a capital. The structural basis would appear to be Ruskin's Theory of Piers, wherein massed masonry supporting masonry curtain sections are stronger than simple walls that use more material.<sup>2,3</sup>

### **Pitch**

"The amount of slope given to any member, as a roof."<sup>2</sup> A pitch may be stated as the vertical rise to the horizontal span.

### **Pointing**

The finish in masonry joints.

### **Pop-outs**

In common practice, a part of a wall that has been extended out from the face of the wall so as to either make that part of the wall appear thicker, or to accommodate a feature such as a bay window, oriel window, porch, or room. Pop-outs may be square, rectangular, or circular. Pop-outs can increase three-dimensional features on a plain wall.

### **Porch**

A roofed area at a building entry, that may be enclosed.

### **Porte-Cochere**

A roofed area extending out from a building entry or porch, that allows covered access from vehicles to the building entry. Originally and in Europe, porte-cocheres were doorways from a building's street side façade inward toward courts and/or stables, and had the appearance of large, single-garage-sized doors.<sup>2</sup>

### **Portico**

"A porch or vestibule roofed and partly open on at least one side," with columns on the sides.<sup>2</sup>

### **Potshelf**

In common practice, an extended or popped-out portion of an exterior wall below a window, large enough to contain potted plants.

### **Purline**

A horizontal member in a roof that supports rafters.<sup>4</sup>

**Quoin**

Dressed stones at building corners, most usually seen with alternating sizes.

**Railing**

"A barrier consisting of a rail and supports." <sup>4</sup> See also Balusters.

**Rake**

Inclination or slope, as in pitch.<sup>2</sup>

**Reeding**

"A series of small, similar, convex or beaded mouldings" applied to a surface for decoration."<sup>2</sup>

**Relief**

Moldings and three-dimensional ornamentation on the surface of a wall, either shallow low relief (bas relief) or deeper high relief (alto relieveo).

**Reticulate**

"Crossed with a network of lines; decorated on a basis of regularly intersecting lines."<sup>2</sup>

**Return**

"A surface turned back from a principal surface, as the side of a pilaster, the jamb of a window or door opening. A return forming an oblique angle is called a splayed return."<sup>2</sup>

**Roofs**

Jogs in roof ridgelines

Knee Braces

Materials

Shingles, asphalt

Shingles, cement

Shingles, shake

Tiles, ess-shaped

Tiles, slate

Overhangs (eaves)

**Pitch** - A sloping portion of a roof, also the rate of inclination of the roof.

Projections

Rafter tails, exposed, on Craftsman style structures

Trellis roofs

**Types** (Note: Many houses have multiple building wings and roof surfaces, such as cross gabled roofs, with gables on more than two sides.)

**Dormers** - Boxed and roofed openings for windows.

Conventional gable or hip  
Shed

**Double-pitched**

A roof with two opposing slopes meeting at a central crown.

**Flat**

A roof that appears to be flat or nearly flat, with no discernable pitch when viewed from the ground. In modern practice, larger flat roofed buildings often have very shallow pitched sections that afford drainage, but are not seen due to parapets. On houses, especially in the Art Deco, Moderne, or International styles (including the American International style such as P. Johnson's Glass House or the Farnsworth House), the roofs have such a shallow pitch, if any, that they appear to be flat.

**Gabled**

A double-pitched roof with gable ends.

**Gambrel, or Dutch Gambrel**

A gabled roof with two slopes on each side, a lower, steeper slope, and an upper, shallower slope.

**Hipped**

A roof that is pitched downward on all sides from a central crown. A square building with a hipped roof would be said to have a pyramid roof.

**Mansard**

A roof having two slopes on all sides, traditionally a steeply sloped lower portion, nearly vertical, and a shallowly sloped upper portion, widely used in France, and commonly attributed to architect François Mansart.<sup>4</sup>

**Shed**

A roof with a single pitch.

**Rustication**

The cutting of masonry into large blocks separated by pronounced joints to provide texture. In modern practice in the context of houses, this is often seen as jointing applied to stucco, particularly in houses with classic french or romanesque design cues.<sup>6</sup>

**Sash**

A frame holding window glass.

## **Sconces**

In current practice, a decorative lighting fixture that appears to be a popped-out extension of a wall.

## **Shutters**

A "screen, cover, or similar contrivance to close an opening, especially a window."<sup>2</sup> Originally moveable, now often fixed open to the exterior wall and merely decorative. For decorative purposes, particular shutter types are commonly associated with American house styles.

### **Types**

**Louvered** - slatted horizontally to allow light and circulation.

**Associated styles:** Any traditional, colonial, french, italian

**Rolling** - fitted with strips in such a way that the entire apparatus can be rolled and unrolled, usually from the top, most common in commercial applications or in regions with hurricanes.

**Solid** - solid or mostly solid

**Associated styles:** Craftsman, Mediterranean, Monterey, Ranch, Spanish Colonial or Eclectic

**Venetian** - louvered, but with slats that can be adjusted in unison,<sup>2</sup> typically with a vertical bar, now mostly used for interior window treatments

## **Side Return**

The continuation of materials used on a front elevation, around a front-side corner and along a side elevation for a minimum of two feet.

## **Sidewalks**

Monolithic - Sidewalk abutting the street curb.

Parkway - Sidewalk separated from the street by a landscape area.

## **Siding**

Basket Weave

Board and Batten

Lap siding

    Cementitious

    Corners

        Corner Trim

        Mitered

    Narrow or Broad

    Wood

Shingles

Stucco - See stucco.

**Sill**

"The lowest member of a frame, usually a horizontal, uniting two or more verticals."<sup>2</sup>  
In practice, usually the bottom part of a window frame.

**Sill Course, or Belt Course**

An extended course line at or below the window sills.

**Single-Family Residence**

A detached single-family dwelling unit on a lot containing no other primary residential usage.

**Skew Back**

In traditional segmental or flat arches, the weight bearing stone at the ends of the arch.<sup>2</sup> A current application might be a decorative element at the upper sides of window frames over which there is an elliptical arch.

**Skew Corbel**

A corbel extending further than the element above, typically, when used on both side of gables, a method for support guttering and for visually widening the gable.<sup>2</sup>

**Skylight**

A window-like opening in a roof. Current types range from fixed translucent panels to glass panels that can be operated like a window.

**Slate**

Stone that is used for surfaces, walkway paving, and traditionally, for roofing tiles that were larger than wood shakes.

**Snow Board**

"A continuous board secured at the foot of a roof slope to serve as a snow guard."<sup>2</sup>  
For practical purposes, in a warm climate, the application is likely to be above a porch to divert rain water away from a sidewalk.

**Soffits**

The underside of an architectural element such as an overhang, an exposed finished area under a stairway, or currently most common, the underside of the wall above a window or door that is recessed into the wall.<sup>3</sup>

**Solarium**

A glass enclosed room or porch. Also referred to as conservatory, garden room, sunroom.<sup>6</sup>

**Stoop**

An exterior platform at a building entry, typically with stairs.

**Stucco**

An exterior plaster with a finish that can be smooth, sand, lace, smooth trowel.

**Tenon**

A projection from a structural element, that may be fitted into a hole or mortise.

**Terra Cotta**

Baked but unglazed clay, used typically for roof or floor tiles, but also for decorative moldings.

**Terrazzo**

Flooring made of small stones or marble chips, finished by smoothing and polishing.

**Threshold**

A door sill.

**Tongued and Grooved**

Wood planks with a concave indentation on one edge and a convex extension on the alternate edge, for the purpose of joining planks, usually for flooring.

**Topiary**

Trimmed landscaped elements, typically shrubs or short, bushy trees, to form decorative shapes.

**Torii, or Toran**

In Buddhist architecture, gateways with multiple carved lintels joined at the tops of vertical structures, usually of wood or stone, and most often associated with Japanese architecture.<sup>2</sup>

**Transom Bar**

The lintel above a door in cases where there is a window above. Rectangular windows are usually referred to as transom windows while semi-circular windows would be fanlights.<sup>2</sup>

**Trellises**

Frame- or screen-work, typically wooden and often used to either cover outdoor spaces or to provide privacy.

**Turret**

A small, slender tower, typically decorative in modern practice

**Veneer**

A thin, ornamental facing material.

**Veranda, or Verandah**

From Hindi, a roofed open gallery or portico, often extending along much or all of an entire building façade<sup>4</sup>.

**Vergeboards** - See bargeboards.

**Wainscot**

A relatively more decorative facing of an exterior wall below the window sill line, called a Dado on interior walls.

**Wall Cap** - See cap.

**Wall openings**

Arched openings  
Recessed openings

**Windows**

Glazed wall or door openings.

**Types**

**Bay Window**

A window extending out, at angles, from the exterior wall, with the window structure beginning at ground level, and roofed by either an extension of the main roof or by its own roof. See also Bow and Oriel Windows.

**Bow Window**

A bay window extended out in a curved, convex manner.<sup>2</sup>

**Casement**

A hinged window allowing opening, often like a door.

**Clerestory**

A window, often small, placed in the extreme upper portions of walls.

**Oriel Window**

"An oriel window projects from the wall and does not extend to the ground. Oriel windows originated as a form of porch. They are often supported by brackets or corbels."<sup>3</sup>

**Palladian Window**

"A window with three openings, the central one arched and wider than the others," from the late Neoclassic Italian architectural style of Andrea Palladio that concentrated on form.<sup>2</sup>

**Associated Features**

Boxes, window  
Deep set  
Grouped windows

Inset windows  
Low plate lines and profiles at boundary edges  
Multiple-light windows (i.e., window panes)  
Muntined  
Panels - Divided window panes varying by style of house

Pop-outs or lintels

Shutters

Soffits

Small high windows rather than blank walls

**Wing Wall** - A full- or partial-height, building wall projection, typically at building corners for decoration in Mediterranean, Pueblo, Santa Barbara, and Spanish styles  
- not fence-like walls.

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## Appendix C

### City of Hemet Approved Street Tree List

**Note:** The Public Works Department should be consulted to confirm usage of the latest approved List.

Appendix 3 Tree List – to be provided by the PW Department