

# PEPPERTREE

August, 2003

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# Table of Contents

## I. Introduction

|                        |     |
|------------------------|-----|
| A. Executive Summary   | I-1 |
| B. Purpose and Goals   | I-1 |
| C. Action Items        | I-2 |
| D. Severability Clause | I-2 |

## II. Environment

|  |       |
|--|-------|
| A. Geopolitical                                      | II-1  |
| B. Relationship to the General Plan                  | II-1  |
| C. Hemet Ryan Airport Comprehensive<br>Land Use Plan | II-9  |
| D. Geology/Topography                                | II-11 |
| E. Hydrology   | II-13 |
| F. Biology   | II-15 |
| G. CEQA  | II-17 |
| H. Conservation Site                                 | II-18 |

## III. Land Use Plan

|                    |       |
|--------------------|-------|
| A. Design Concepts | III-1 |
| B. Land use Plan   | III-1 |

## IV. Infrastructure

|                                 |       |
|---------------------------------|-------|
| A. Circulation                  | IV-1  |
| B. Water and Sewer              | IV-6  |
| C. Drainage                     | IV-9  |
| D. Grading                      | IV-12 |
| E. Utilities                    | IV-16 |
| F. Public Facilities & Services | IV-17 |

## V. Zoning

|                          |     |
|--------------------------|-----|
| A. Purpose and Objective | V-1 |
| B. Development Standards | V-1 |

## VI. Design Guidelines

|                            |       |
|----------------------------|-------|
| A. Introduction            | VI-1  |
| B. Architectural Theme     | VI-2  |
| C. Architectural Component | VI-5  |
| D. Landscape Architecture  | VI-9  |
| E. Site Planning Criteria  | VI-21 |

# Table of Contents— Continued

## VII. Implementation Measures

|                        |       |
|------------------------|-------|
| A. State Requirements  | VII-1 |
| B. Local Requirements  | VII-2 |
| C. Phasing Plan        | VII-5 |
| D. Financial Mechanism | VII-7 |
| E. Maintenance Plan    | VII-8 |

# List of Figures

|              |   |        |
|--------------|---|--------|
| Figure I-1   | Location Map                              | I-3    |
| Figure I-2   | Vicinity Map                              | I-4    |
| Figure I-3   | Aerial Photograph                         | I-5    |
| Figure I-4   | Illustrative Plan                         | I-6    |
| Figure II-1  | Assessor's Parcel Map                     | II-2   |
| Figure II-2  | General Plan                              | II-3   |
| Figure II-3  | Existing Conditions/ Surrounding Land Use | II-4   |
| Figure II-4  | Topography                                | II-12  |
| Figure II-5  | Hydrology                                 | II-14  |
| Figure II-6  | Biology                                   | II-16  |
| Figure III-1 | Land Use Plan                             | III-3  |
| Figure III-2 | Recreation Area                           | III-5  |
| Figure III-3 | The Bungalows                             | III-6  |
| Figure III-4 | The Gardens                               | III-7  |
| Figure III-5 | The Courts                                | III-9  |
| Figure III-6 | The Manors                                | III-10 |
| Figure III-7 | The Resort                                | III-11 |
| Figure IV-1  | General Plan Circulation                  | IV-2   |
| Figure IV-2  | Circulation Plan                          | IV-4   |
| Figure IV-3  | Cross- Sections                           | IV-5   |
| Figure IV-4  | Water Plan                                | IV-7   |
| Figure IV-5  | Sewer Plan                                | IV-8   |
| Figure IV-6  | Drainage Plan                             | IV-11  |
| Figure IV-7  | Conceptual Grading Plan                   | IV-13  |
| Figure V-1   | Planning Areas                            | V-2    |
| Figure V-2   | The Bungalows—Typical Lot Plotting        | V-6    |
| Figure V-3   | The Gardens—Typical Lot Plotting          | V-8    |
| Figure VI-1  | Primary Entry Treatment                   | VI-10  |
| Figure VI-2  | Secondary Entry Treatment                 | VI-11  |
| Figure VI-3  | Street 'A' Streetscape                    | VI-13  |
| Figure VI-4  | Streets 'B'-'G' Streetscape               | VI-14  |
| Figure VI-5  | Alleys 'A'-'E' Streetscape                | VI-15  |

# List of Figures

|              |                            |       |
|--------------|----------------------------|-------|
| Figure VI-6  | Alleys 'F'-'R' Streetscape | VI-16 |
| Figure VI-7  | Cawston Avenue             | VI-18 |
| Figure VI-8  | Menlo Avenue               | VI-19 |
| Figure VI-9  | Paseo Treatment            | VI-20 |
| Figure VI-10 | Theme Walls and Fencing    | VI-23 |
| Figure VII-1 | Phasing Plan               | VII-6 |

# List of Tables

|             |                     |       |
|-------------|---------------------|-------|
| Table III-1 | Land Use Summary    | III-2 |
| Table IV-1  | Earthwork Breakdown | IV-12 |
| Table VI-1  | Landscape Palette   | VI-26 |
| Table VII-1 | Maintenance Plan    | VII-8 |

# I. Introduction

## A. Executive Summary

The Peppertree Specific Plan is an innovative, gated senior-oriented residential development. This 82.5 acre site offers a variety of housing types ranging from medium to high densities, located north of the Hemet Ryan Airport on the northwest corner of Cawston Avenue and Menlo Avenue, in the City of Hemet. The General Plan designates this area as R-1 with densities of seven dwelling units per acre (7 DU/Ac).

The projects' proximity to the Hemet Ryan Airport and the Diamond Valley Lake Recreation Area makes Peppertree a desirable location for a gated, senior residential development that will allow for a harmonious and quiet neighborhood.

The mix of unit types, paseo system, and recreation programming will complement the plan and create an engaging sense of community. The housing types are further unified with a variety of architectural styles including Craftsman, California Bungalow, Spanish Colonial, Monterey, and California Ranch.

## B. Purpose and Goals

The Peppertree Specific Plan will serve as the guiding document for future development of the project. In general, the Specific Plan identifies the services and facilities required, land use development standards, design guidelines, maintenance, phasing, and project implementation.

It is the intent of the developer to construct the project in compliance with the Peppertree Specific Plan. Development of each planning area under the plan is to be processed as a Site Development Review (SDR) application which will be reviewed and approved by the Hemet

Planning Commission. Conditional uses are also subject to discretionary review by the Planning Commission and/or City Council (when applicable).

The Peppertree Specific Plan will result in an innovative senior-oriented community for highly diversified senior lifestyles. Goals of the Peppertree Specific Plan include:

1. Establish a highly diversified senior-oriented development .
2. Provide a circulation system that permits easy vehicular and pedestrian access within the development.
3. Establish an orderly development plan compatible with existing land uses in the vicinity.

## C. Action Items

The Peppertree Community project includes the following discretionary items:

1. A General Plan Amendment to accommodate the proposed development as a senior residential community (GPA No. 01-2).
2. The creation and adoption of a Specific Plan to allow for unique and enhanced design standards and zoning for the project (SP No. 01-3).
3. Vesting Tentative Tract Map (TTM No. 29843) for the subdivision of the project.
4. Adoption of a Mitigated Negative Declaration to address environmental issues (EA No. 03-19).

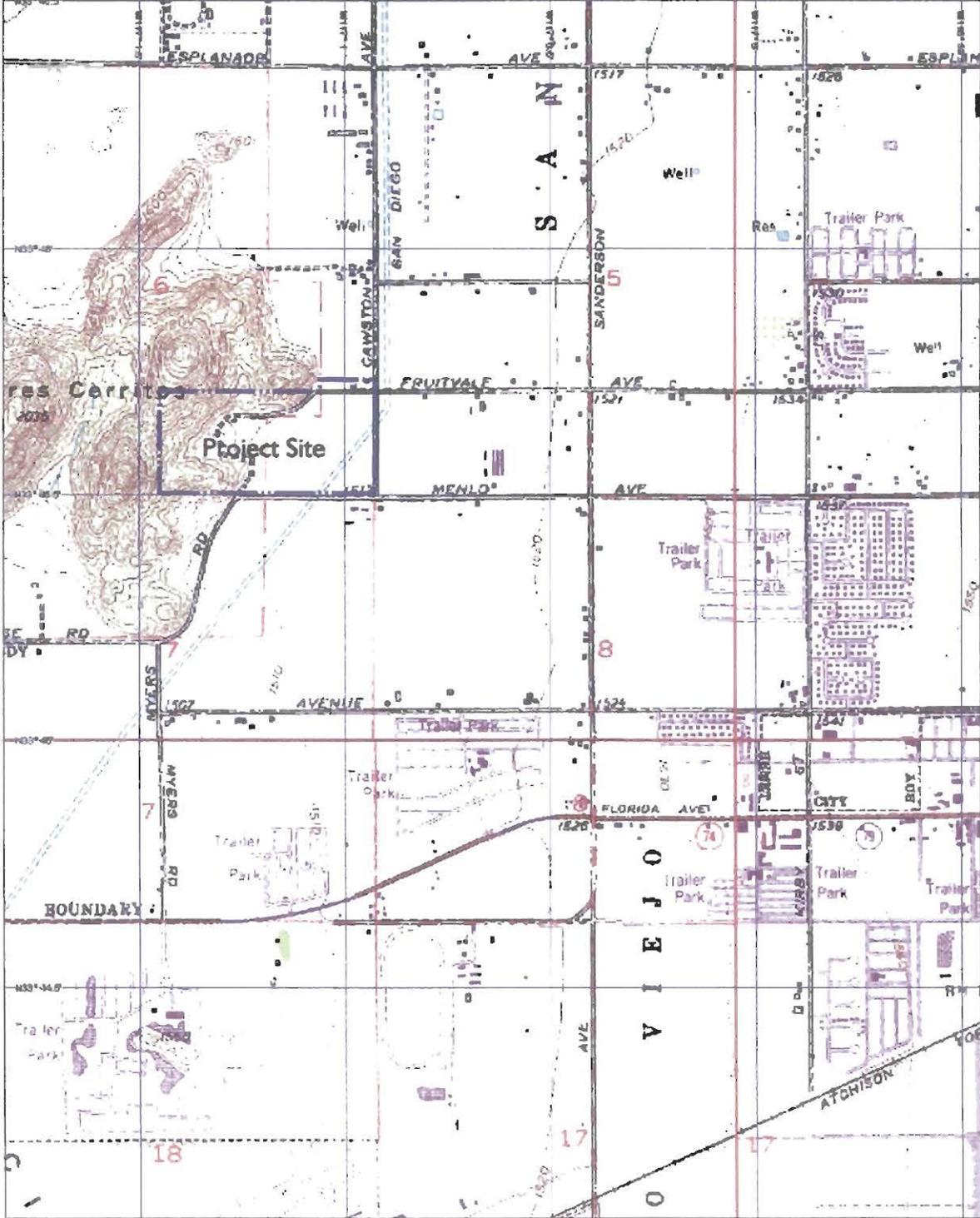
## D. Severability Clause

If any term, provisions, covenant or condition of this Specific Plan shall be determined invalid, void or unenforceable, the remainder of this Specific Plan shall not be affected thereby to the extent such remaining provisions are not rendered impractical to perform, taking into consideration the purposes of this Specific Plan.



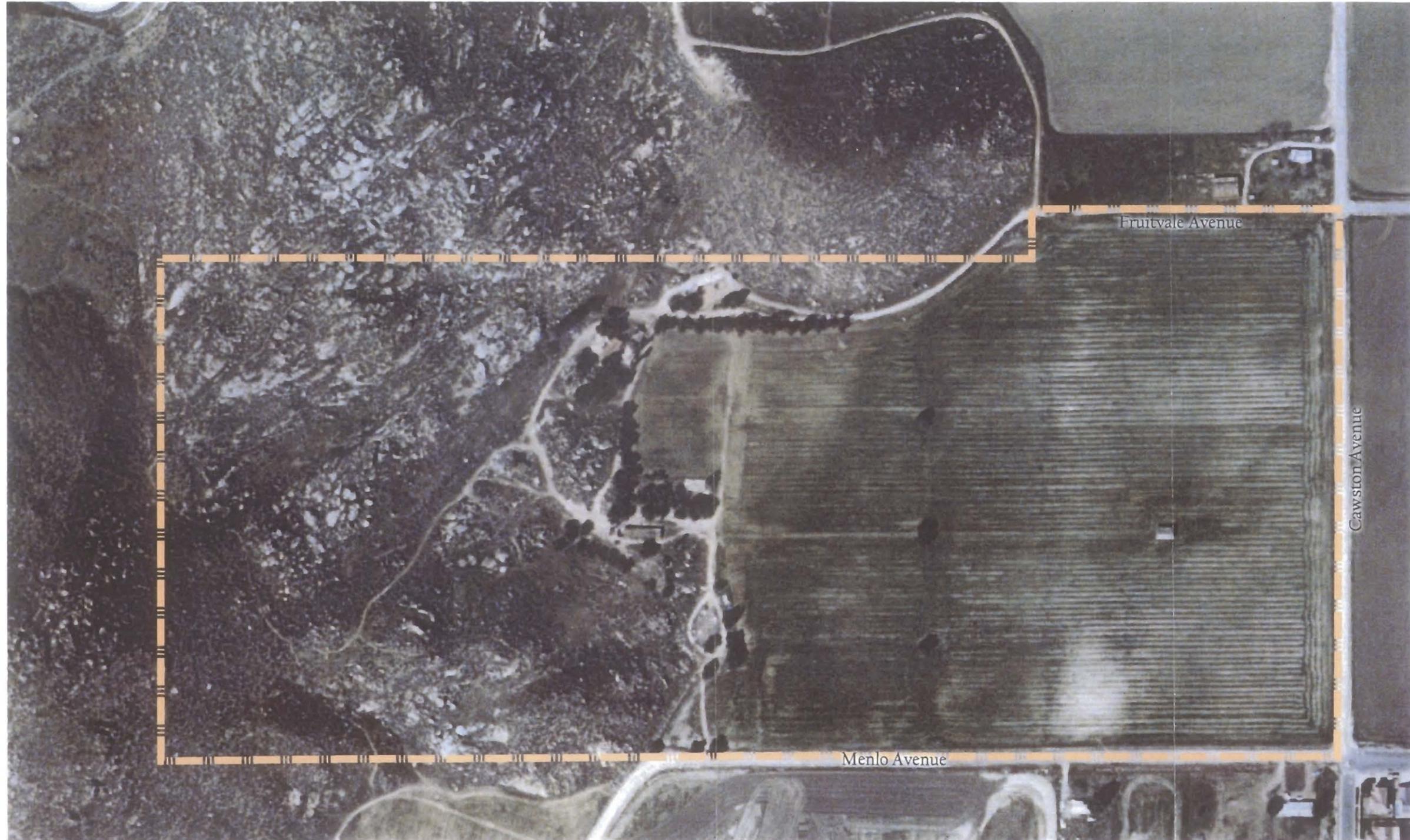
# Vicinity Map

Figure I-2



# Aerial Photograph

Figure I-3



# Illustrative Site Plan

Figure I-4



# II. Environment

## A. Geopolitical

The Peppertree Specific Plan is an innovative senior-oriented development with various housing types, comprehensive architecture and landscaping, a trail system and an extensive recreation complex.

The subject property consists of four Assessor's parcels (see Figure II-1):

1. Parcel # 441-030-003;
2. Parcel # 441-030-008;
3. Parcel # 441-030-007; and
4. Parcel # 441-030-009.

The current General Plan designation for the property is R-1 (Residential) with densities ranging up to seven units per acre (7 DU/Ac). The surrounding General Plan designations are as follows:

- North: Residential (RI), seven units per acre (7 DU/Ac)
- South: Specific Plan (SP)
- East: Residential (RI), seven units per acre (7 DU/Ac)
- West: Specific Plan (SP)- Hemet Valley Country Club Estates encompasses 351.8 acres of Medium to high density with 544 single-family residential with four units per acre (4.0 DU/Ac) and 50 to 166 condominiums with a density of 18 DU/Ac (See Figure II-2).

## B. Relationship to the General Plan

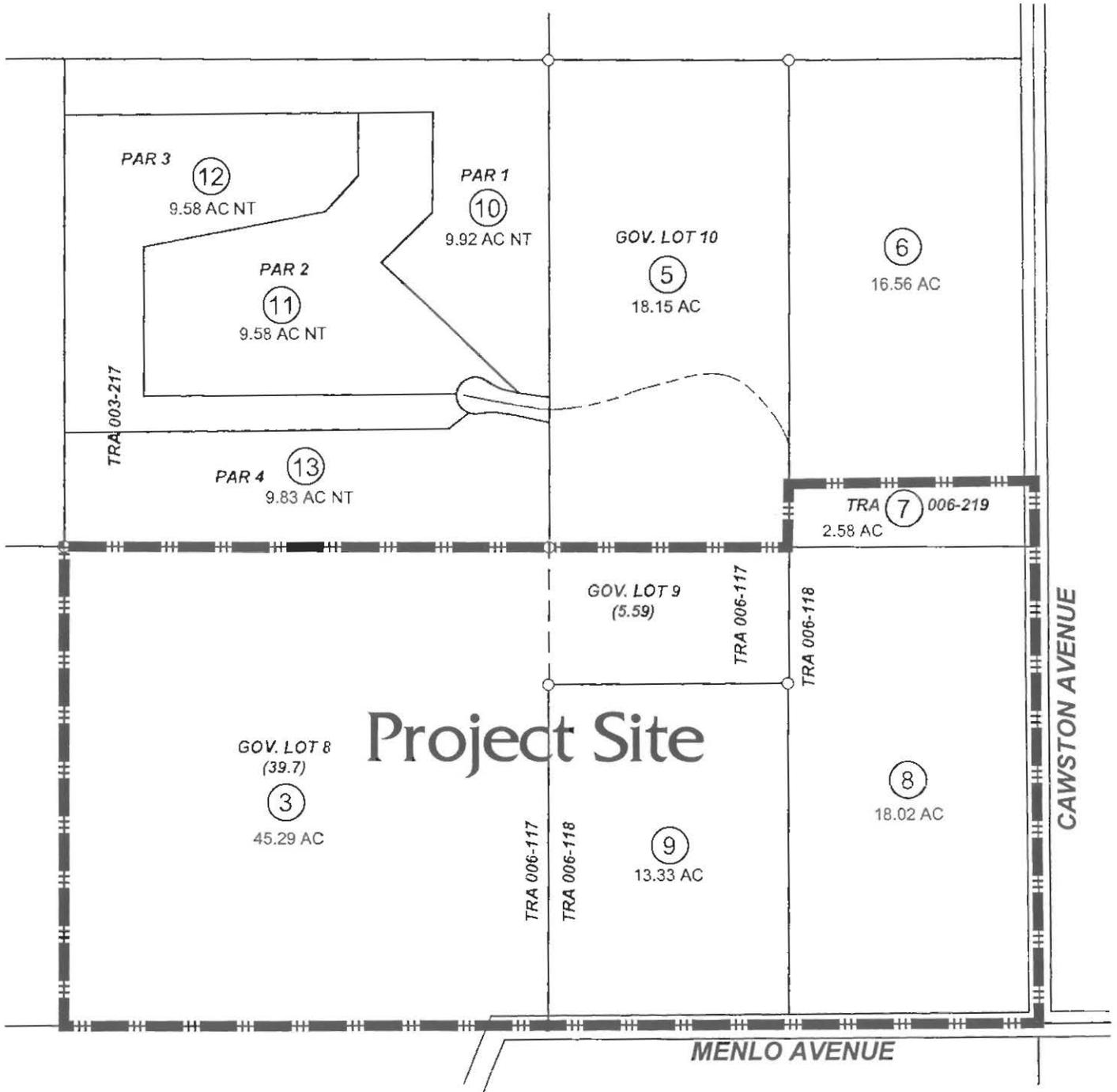
### *Predominant Land Use Role*

*Goal: An emphasis on the City of Hemet's Traditional primary role as a community of choice for seasonal and permanent retirement living and as a sub regional commercial and government center.*

Consistency: Peppertree is consistent with the City's primary function as a retirement community. The City's vision is to provide

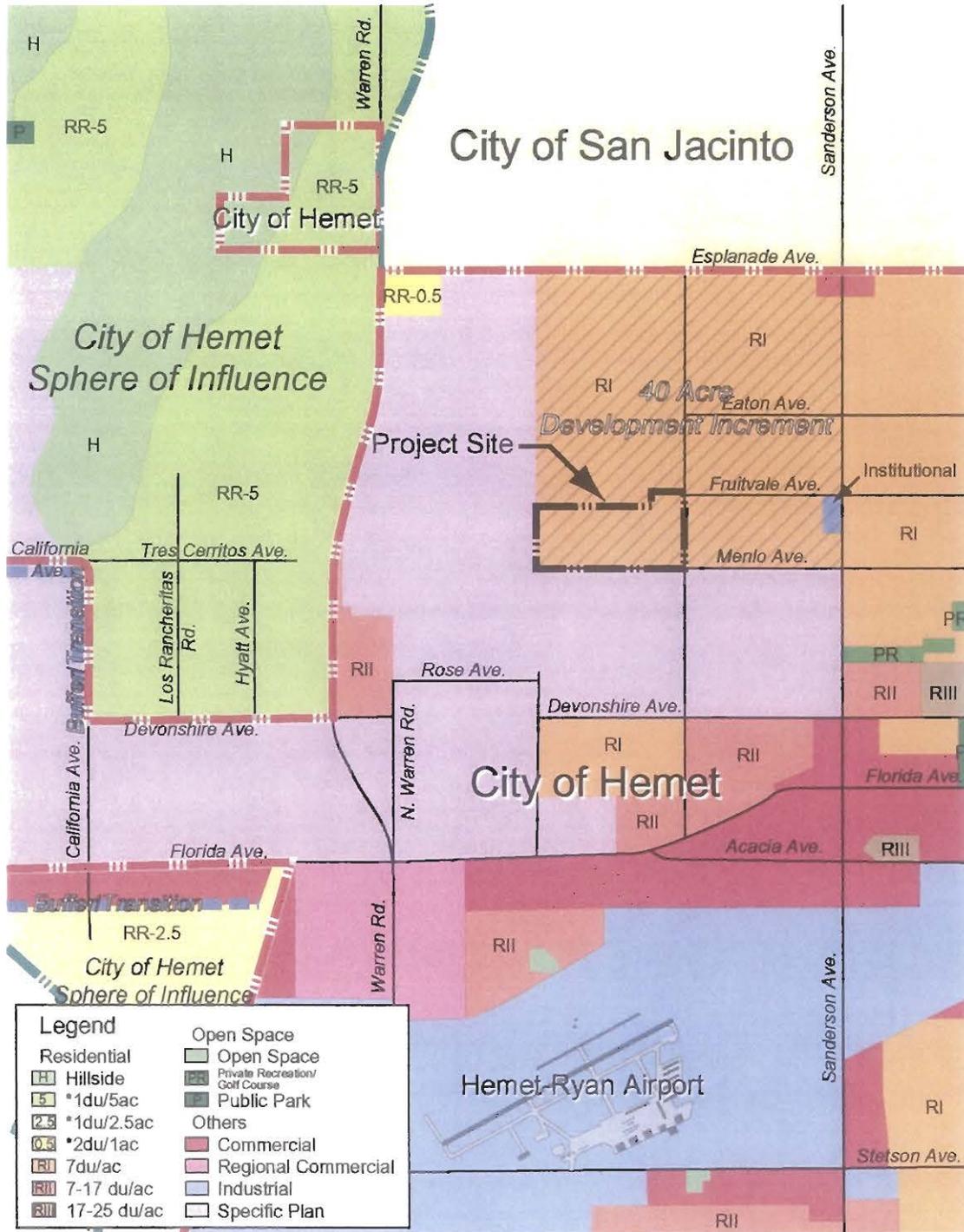
# Assessor's Parcel Map

Figure II-1



# General Plan/Zoning

Figure II-2

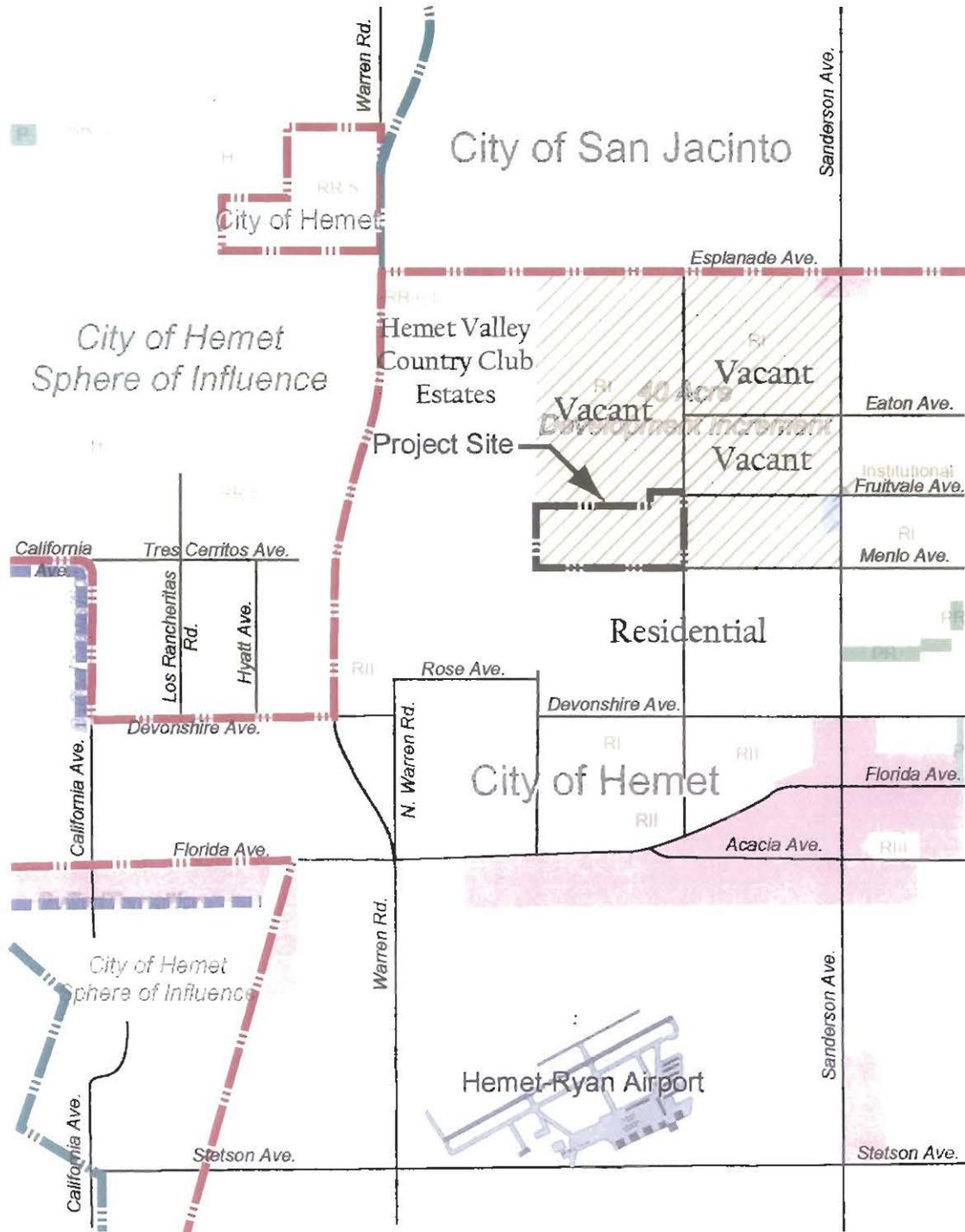


| Legend      |                                 |
|-------------|---------------------------------|
| Hillside    | Open Space                      |
| *1du/5ac    | Private Recreation/ Golf Course |
| *1du/2.5ac  | Public Park                     |
| *2du/1ac    | Others                          |
| 7du/ac      | Commercial                      |
| 7-17 du/ac  | Regional Commercial             |
| 17-25 du/ac | Industrial                      |
|             | Specific Plan                   |

\*RR: Rural Residential Zone

# Existing Conditions/ Surrounding Land Use

Figure II-3



seniors with a choice of senior-only and family oriented residential neighborhoods.

The Peppertree Specific Plan implements the ability of an active senior lifestyle with its paseo system and recreation center, creating a sense of community for the residents of this neighborhood.

#### *Community Character and Design*

*Goal: Physical development and environmental management whose visual traits emphasize Hemet's unique identity and character.*

Consistency: The Peppertree Specific Plan is consistent with the City of Hemet's desire to retain its character and traditional small town qualities. Peppertree will be a small community within the overall larger community. Many of the General Plan concepts have been incorporated into the Peppertree Specific Plan such as: each neighborhood will have tree lined streets, views of the adjacent open space areas (Tres Cerritos) will be maintained and, 32.5 acres of the project site will be conserved as a natural feature. Further, traditional architectural styles have been incorporated into the project design with the inclusion of a community recreation area that can be utilized not only for recreation activities but community events as well.

#### *Community Structure*

*Goal: To maintain the special character and identity of the Hemet area as a collection of distinct districts with unique assets and traits, each contributing to the overall image of the community.*

Consistency: The Peppertree Specific Plan is located within the Northwest Hemet Neighborhood Planning Area. Major projects in the Northwest Hemet Neighborhood Planning Area include Arthofer Community plan, and Stoney Mountain Ranch, a 237 acre residential

development.

Key components of the Northwest Hemet's character include:

- Commercial horse ranches;
- Tres Cerritos and view of the Gumm mountains to the west and Domenigoni mountains to the south;
- San Diego Aqueduct;
- The decline of crop based agriculture and current viability of animal intensive agriculture uses; and
- The Church of Jesus Christ of Latter Day Saints.

The Northwest Hemet General Plan Land Use Summary targets 719 acres of R-1 land uses. An anticipated build out of 3,523 units represents seventy percent (70%) of the maximum build out of 5,033 R1 units for the planning area. The Peppertree Specific Plan assists in realizing the General Plan targeted residential development for the Northwest Hemet Planning Area. The estimated 456 units proposed in the Peppertree Specific Plan, represents approximately nine percent (9%) of the maximum Residential (R-1) land uses.

The Peppertree Specific plan will comprehensively plan the proposed 82.5 acres avoiding piecemeal development within this portion of the Northwest Hemet planning area. The project lies within the General Plan designated area for 40 acre development planning increment. The 40 acre development increment requires residential projects to be a minimum of 40 acres in size. The proposed project is 82.5 acres so it is double the required residential project size.

#### *Geology and Seismicity*

*Goal: Reduce the potential for loss of life and minimize physical injury and property damage from seismic ground shaking and other geologic events.*

Consistency: Grading and compaction shall be in accordance with the standard soil engineering practice. Residential structures shall be

built in conformance with seismic standards of the Uniform Building Code.

#### *Fire*

*Goal: Provide adequate protection to life, property, and the natural environment from the potential disastrous effects of wildland fires.*

Consistency: The Peppertree Specific Plan implementation will result in “fair share” funding of additional fire facilities, equipment, and personnel. In addition, fuel modification zones will be utilized adjacent to areas with wildfire potential.

#### *Crime Prevention and Law Enforcement*

*Goal: Minimize the risk of crime and provide residents and businesses with a secure environment.*

Consistency: Design elements of the project include lighting, building orientation, street configurations, and public space layouts which facilitate the ability of neighbors and security to view them for security.

#### *Airport Land Use Compatibility*

*Goal: Provide an acceptable level of protection to life and property from airport-related uses and hazards.*

The Peppertree Specific Plan is consistent with the Hemet Ryan Airports current Land Use Plan (See Section C “Hemet Ryan Airport Comprehensive Land Use Plan”).

#### *Parks and Recreation*

*Goal: A system of park, recreation, and open space lands of sufficient size and in the appropriate locations to serve the needs of Hemet residents of all ages.*

**Consistency:** The Peppertree Specific Plan provides for a private recreation facility for use by the project residents and their guests. In addition, the project is connected with paseos throughout the site that allow pedestrian access to all neighborhoods and to the recreation area.

*Open Space*

*Goal: Take advantage of existing open space opportunities which conserve natural resources, provide open space for outdoor recreation, and protect the public health and safety.*

**Consistency:** Planning Area 7 has over 32 acres of open space that has been set aside as conservation land to remain undeveloped.

*Historic Resources and Cultural Heritage*

*Goal: Ensure that reminders of the Hemet area's physical, historical, and cultural heritage are respected and preserved for future generations.*

**Consistency:** The Peppertree Specific Plan encompasses an archaeological site which is located within the conservation site (Planning Area 7). This area will not be disturbed to maintain the historic and cultural benefit for the City of Hemet and area residents.

## C. Hemet Ryan Airport Comprehensive Land Use Plan

The Peppertree Specific Plan is within two (2) miles of the Hemet Ryan Airport. No part of the project lies within any of the six (6) safety compatibility zones as defined by the January 2002, State of California, Department of Transportation, Division of Aeronautics, *California Airport Land Use Planning Handbook*.

The project site is within Area III of the Hemet Ryan Airport Comprehensive Airport Land-Use Plan. Area III: Moderate Risk is based upon the outer radius of the imaginary horizontal surface of the airport as defined in Federal Aviation Regulation (FAR), Part 77. This area is normally used to determine whether obstructions exist within the area where aircraft are most likely to be maneuvering. It was designated by the Airport Subcommittee as the Area of Moderate Risk due to the flight paths and aircraft noise which are present in the entire area. The boundaries of Area III for planning purposes have been adjusted to follow roads or section lines for easy identification. It is bounded by Eaton Avenue on the north, Palm Avenue on the east, Simpson Avenue on the south, and the section lines dividing Section 2 and 3, 10 and 11, 14 and 15, 22 and 23, and N 1/2 of Sections 26 and 27, T5S, R2W, SBB & M on the west.

Peppertree Specific Plan is located about 1.5 miles north of Hemet Ryan Airport. The Southwest corner of the project; latitude North 33 degrees, 45 minutes, 30 seconds and .96'; and longitude of West 117 degrees, 1 minute 13 seconds and .38' has an elevation of 1515' above sea level (Datum WGS84). The northwest corner of the project; latitude North 33 degrees, 45 minutes, 37 seconds and .80'; longitude West 117 degrees, 1 minute, 12 seconds and .06' with an elevation of 1522' above sea level. The northeast corner of the project; latitude North 33 degrees, 45 minutes, 42 seconds and .72'; and longitude of West 117 degrees, 0

minutes, 55 seconds and .74' with an elevation of 1526' above sea level ( Datum WGS84). Southeast corner of the project on Menlo Avenue and Cawston Avenue; Latitude North 33 degrees, 45 minutes, 23 seconds and .04'; longitude West 117 degrees, 0 minutes, 52 seconds and .92' has an elevation of 1522' above sea level (Datum WGS84). The highest buildable elevation is 1522' above sea level and the highest building structure is under 37' tall, the project site is in compliance with the Federal Aviation Regulation and will not obstruct aircraft maneuvering around Area III because of the project's low elevation and the building height .

## D. Topography/ Geology

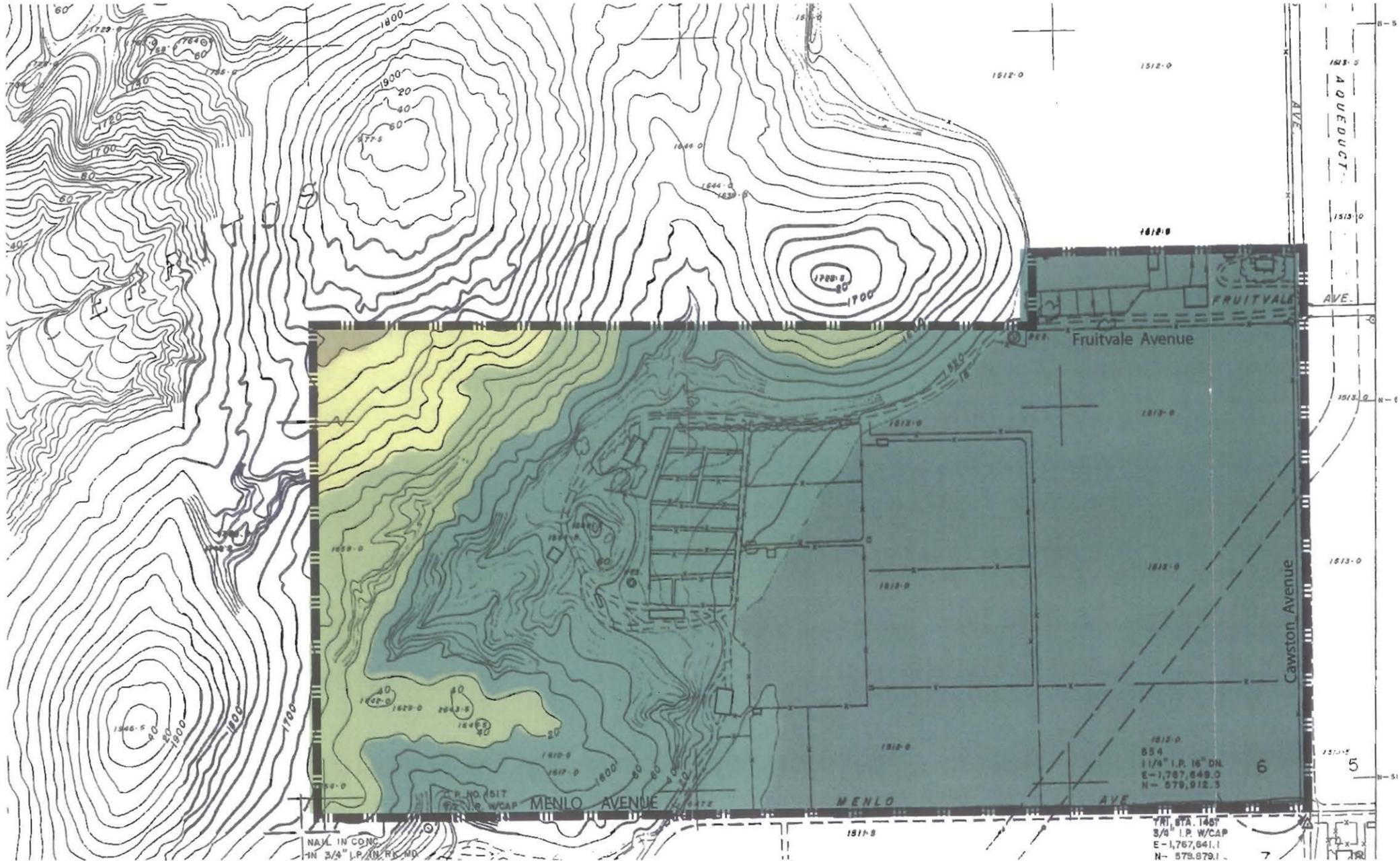
The elevation of the project site ranges from the highest elevation of 1,840' at the northwest corner, to the lowest elevation of 1,510' in the southeast portion of the site (*See Figure II-4*). The site rises a total of 330' in elevation from the southeast to the northwest.

The eastern half of the site is flat and currently farmed. It has been used as a horse ranching facility since the early 1970's. The remainder of the property consists of steep rugged terrain, sage scrub habitat and rock outcroppings associated with Tres Cerritos.

The site is not located within the State of California Alquist-Priolo Earthquake Fault Zone. The Casa Loma Fault is the closest known active fault located approximately three (3) miles to the northeast.

# Topography

Figure II-4



|  |                       |
|--|-----------------------|
|  | 1,800 ft. - 1,900 ft. |
|  | 1,700 ft. - 1,800 ft. |
|  | 1,600 ft. - 1,700 ft. |
|  | 1,500 ft. - 1,600 ft. |
|  | 1,400 ft. - 1,500 ft. |

## E. Hydrology

The majority of the site is located in a Zone 'C' flood plain. The Zone 'C' flood plain is an area of minimal flooding. The southeast corner of the site adjacent to the recreation center is within a Zone 'A' flood plain. The Zone 'A' flood plain is a 100 year flood zone. Grading will elevate the recreation center and parking lot above the Zone 'A' flood plain designation.

The site is currently impacted by runoff from developed areas of the City east of the site and from the hillsides to the north and west of the project. Storm water generated by the project will be collected and transported in a storm drain system to be installed within the Specific Plan streets, Menlo and Cawston Avenues. It will be discharged into the Hemet Valley County Club Estates project retention basin being proposed on the south side of Menlo Avenue (*See Figure II-5*).



## F. Biology

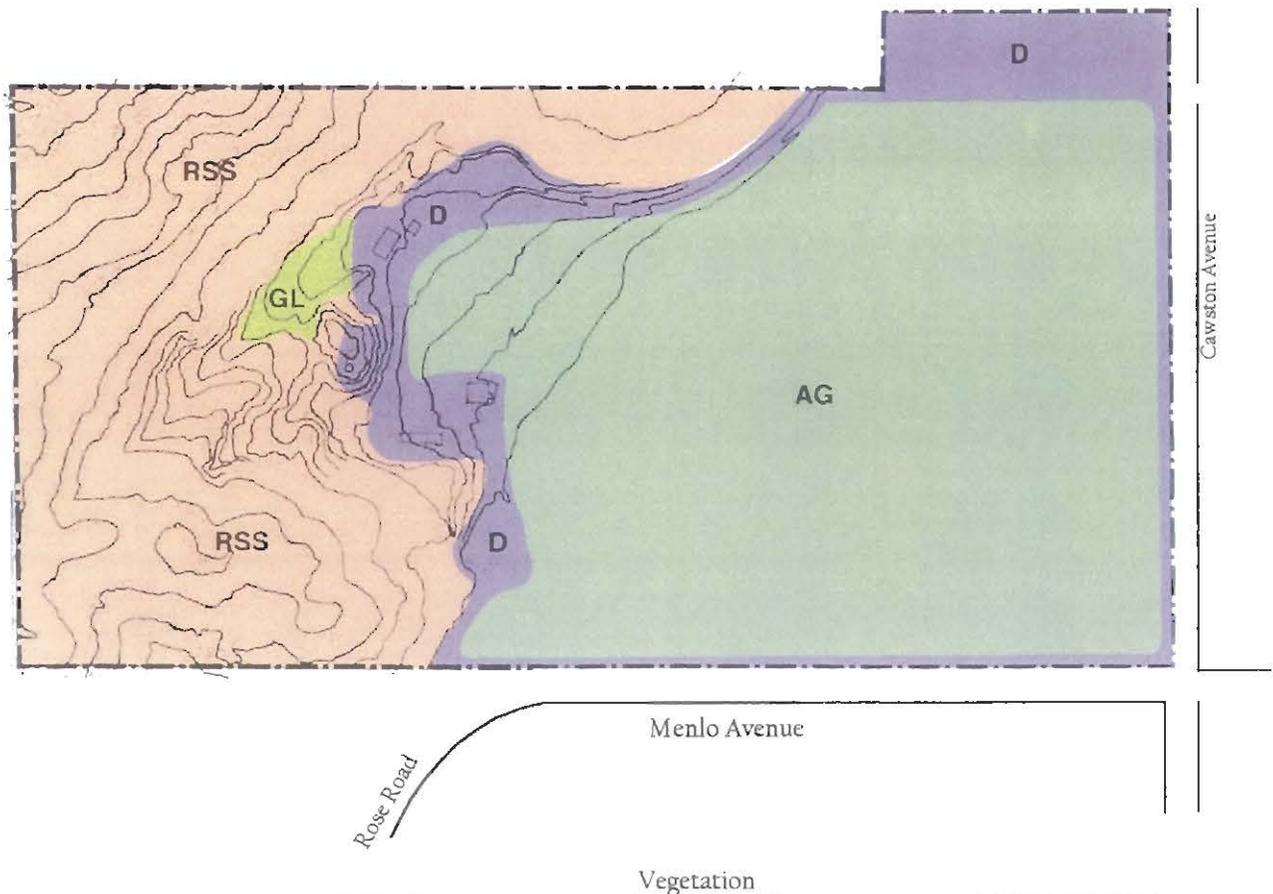
The project area currently consists of agricultural land on the east and steep rugged terrain with rock outcroppings and sage scrub habitat on the west. Natural communities observed onsite include Riversidean Sage Scrub and Non-native Grassland. There are remnants of four (4) residential structures located on the central portion of the site which include ornamental landscaping, dirt access roads, general residential disturbances, graded areas, and development. The western portion of the site is scattered with rock outcroppings composed of granite bedrock (See Figure II-6).

Jurisdictional "Waters of the United States" are potentially present. The Site contains ephemeral drainages which begin in the higher elevations of the northern and western sections of the site and offsite. There is a slight depressional area in the agricultural field located above the Metropolitan Water District San Diego Aqueduct.

The site is outside the proposed critical habitat for the California Gnatcatcher. Since potential habitat for the California Gnatcatcher exists within the site a survey has been performed and none were found. The project site is located within the Habitat Conservation Plan for the Stephen's Kangaroo Rat in Western Riverside County. A mitigation fee may be required for the development of the site based on acreage of disturbance.

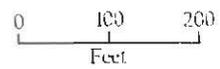
# Biology

## Figure II-6



- Vegetation
- GL Annual Non-native Grassland
  - RSS Riversidean Sage Scrub
  - D Disturbed/ Ornamental
  - AG Agriculture

Source: TeraCor Resource Management



## G. CEQA Compliance

The Peppertree Specific Plan fully complies with the California Environmental Quality Act. An initial study has been prepared to address potential environmental concerns for the project site and the following technical studies have been prepared to assess and provide mitigation for any potential impacts:

*James & Briggs Archaeological Services, Cultural Resources Survey Report for the Pepper Tree Specific Plan Project Tentative Tract No. 29843*

*TeraCor Resource Management, Presence/Absence Report for Coastal California Gnatcatcher for the Pepper Tree Property, Northwest corner of Cawston and Menlo Avenue*

*PCR Services Corporation, Biological Constraints Analysis for the Peppertree Project Site in Hemet, Riverside County, California*

*Inland Foundation Engineering, Inc., Seismic Refraction Survey, Peppertree Farm Residential Development, Cawston And Menlo Avenues, Hemet, California*

*Inland Foundation Engineering, Inc., Assessment of Geological Conditions Related to Faulting and Surface Fracturing/Subsidence, Proposed Pepper Tree Farms Residential Development, Northwest Corner of Cawston Avenue and Menlo Avenue, Hemet, California*

*James W. Unland & Associates, Peppertree Specific Plan Drainage*

*James W. Unland & Associates, Circulation, Vehicular Traffic, Water, Sewer, Hydrology and Drainage, Grading, and Utilities Report*

*James W. Unland & Associates, Alternate Detention Basin*

*RKJK & Associates, Inc., Peppertree Hemet NW Area Traffic Study*

*Urban Crossroads, Inc., Tentative Tract Map No. 29843 Trip Generation and Parking Evaluation*

A Mitigated Negative Declaration (EA No. 03-19) is being processed to be adopted by the City Council.

## H. Conservation Site

The Peppertree Specific Plan has set aside 32.5 acres as a conservation site. The conservation site preserves specific portions of the Peppertree site in permanent open space to further avoid future impacts to Native American cultural resources. The proposed mitigation for the cultural resources for the Peppertree site is complete avoidance of the area which is set aside as a conservation site. This area will be preserved in perpetuity and will not be subject to development.

# III. Land Use

## A. Design Concept

The Land Use concept for Peppertree is intended to facilitate high quality resort lifestyle opportunities for active adults. The mix of complementary land uses are integrated with the landscape and topography to create a sense of community. A rich diversity of residential product types are situated within walking distance to a highly amenitized recreation area. The architectural styles of the project can be mixed within planning areas to create the appearance of a post World War II eclectic neighborhood.

The development framework of the Land Use Plan is defined by its physical features, including site topography, rock outcroppings, and view sheds.

## B. Land Use Plan

The Peppertree community will be primarily medium to high density residential in character, supporting 456 attached and detached units on 82.5 acres. Within the residential planning areas, target densities range from six to 20 units per acre (6—20 DU/Ac). By clustering residential units into walkable neighborhoods, significant areas are set aside for active and passive open space recreation. The overall project density is under six units per acre (6 DU/Ac). Consistent with the R-1 land use designation: A summary of the planning areas, acreages and densities are provided in Table III-1.

Within the 24-hour gate-guarded residential community, greenbelts and landscaped walkways have been carefully planned to provide comfortable and direct access to the various planned amenities.

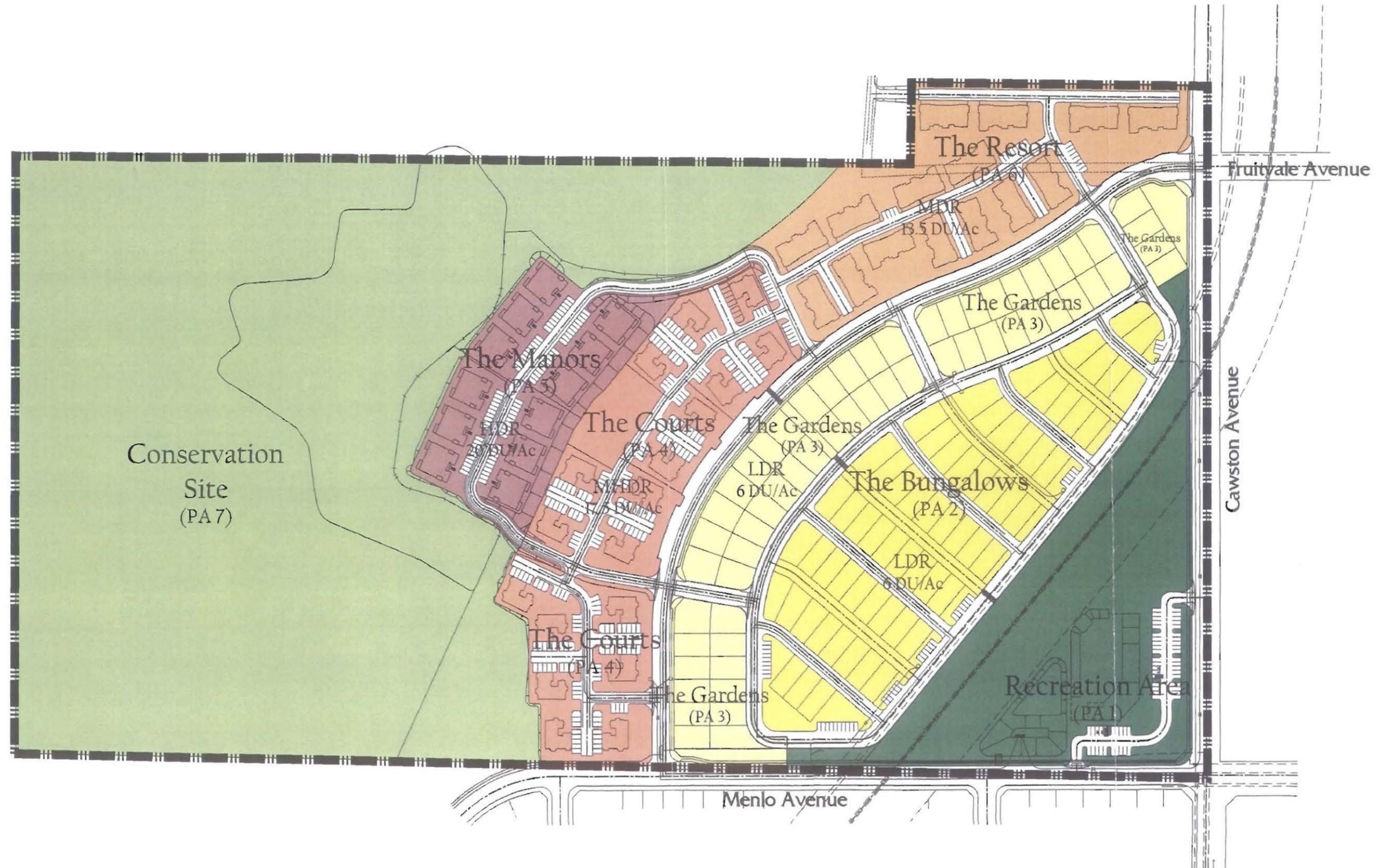
# Land Use Summary

Table III-1

| PA | Land Use                      | Acreage | Target Density (DU/Ac) | Units |
|----|-------------------------------|---------|------------------------|-------|
| 1  | Recreation Center             | 7.67    |                        |       |
|    | Park area                     | (4.70)  |                        |       |
| 2  | The Bungalows                 | 10.40   | 6.0                    | 62    |
| 3  | The Gardens                   | 9.19    | 7.0                    | 58    |
| 4  | The Courts                    | 9.05    | 17.0                   | 144   |
|    | Park/Recreation area          | (0.60)  |                        |       |
| 5  | The Manors                    | 5.05    | 20.0                   | 96    |
| 6  | The Resort                    | 6.48    | 15.0                   | 96    |
|    | Park/Recreation area          | (0.90)  |                        |       |
| 7  | Conservation Site/ Open Space | 32.52   | 0                      | 0     |
|    | Perimeter Streets             | 2.16    | 0                      | 0     |
|    | Project Total                 | 82.52   | 5.5                    | 456   |

# Land Use Plan

Figure III-1



### *Recreation Area*

Planning Area 1 consists of 7.6 acres. The area contains the primary community focus for Peppertree. The Community Clubhouse may include such features as a business center, library, and multi-purpose rooms. Active recreational components include a lap pool, open lawn play (bocce ball, volleyball, croquet, lawn bowling), par course, shuffleboard courts, horseshoe pits, and “grandkids” tot lot/party pavilion. Passive features include a resort pool and spa, sundeck, library reading garden, lawn amphitheatre, outdoor fireplace, bandstand, barbeque and picnic areas. Greenbelt walkways and local street connections provide direct, convenient, and comfortable pedestrian access to the recreation area from the residential areas (See Figure III-2).

### *The Bungalows*

Planning Area 2 consists of 62 detached units on 10.4 acres at a target density of six units per acre (6 DU/Ac). *The Bungalows* feature site planning techniques which orient the front of homes along traditional streetscapes and greenbelts marked by shade trees, porches, and picket fences rather than garages and driveways. This is accomplished by placing garages to the rear of the homes accessed by alleys, and by reducing setbacks in order to create “outdoor rooms.” Bungalow lot sizes are a minimum of 3,600 square feet in size (40' x 90') (See Figure III-3).

### *The Gardens*

Planning Area 3 consists of 58 detached units on 9.2 acres at a target density of seven units per acre (7 DU/Ac). These traditional front-loaded single family homes are sited on lots with a minimum 4,000 square feet (50'x80'). The greenbelt walkway (paseo) extends through this planning area, providing a link to the recreation area (See Figure III-4).

# Recreation Area Plan

Figure III-2



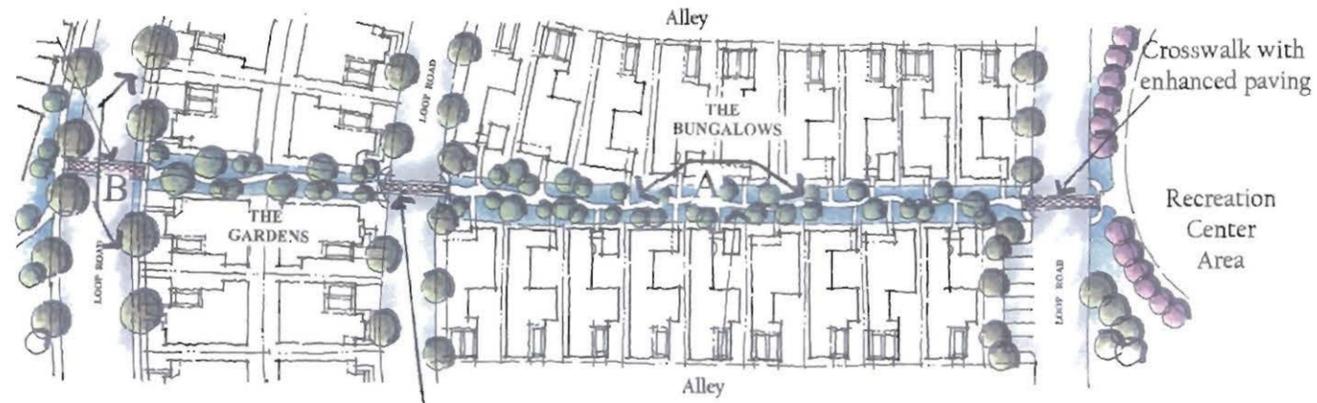
==AEI-CASC==  
Peppertree Specific Plan



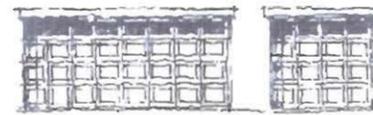
\*Illustrations are conceptual, actual architecture and design details will be provided at Site Development Review.

# The Bungalows (PA2)

Figure III-3

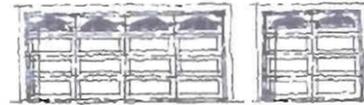


Crosswalk with enhanced paving

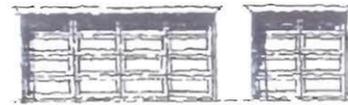


Traditional Style

Windows in garage doors will be a buyer option.



Spanish Style



Cottage Style



Typical home in the Bungalows. The front of the house faces a 30' wide pedestrian paseo containing a meandering 6' wide sidewalk.



Typical streetscene.

UCILLA  
ROOKLYN  
ARCHITECTURE

The Gardens  
(PA 3)  
Figure III-4



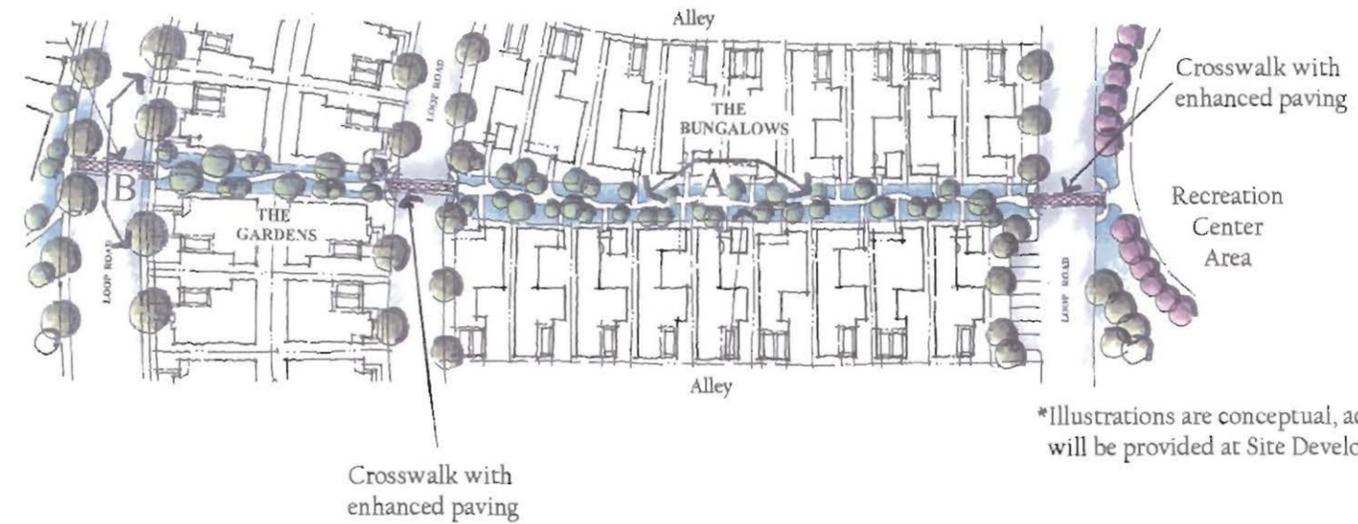
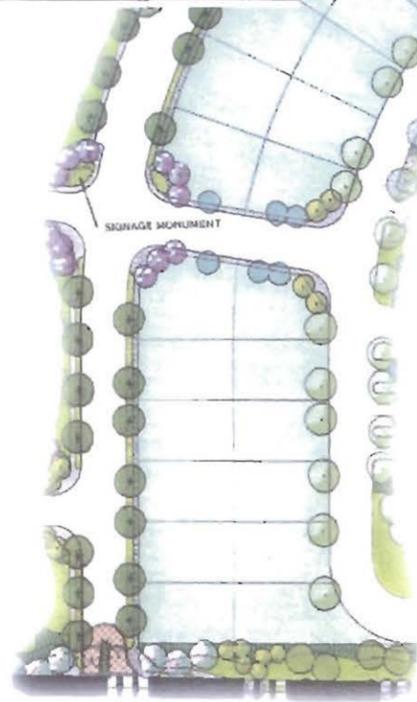
Greenbelt walkway with easy  
Access to and from recreation  
center



Typical Paeso Section



'The Gardens' conceptual architectural style



\*Illustrations are conceptual, actual architecture  
will be provided at Site Development Review

### *The Courts*

Planning Area 4 consists of 144 senior townhomes on 9.0 acres at a target density of 17 DU/Ac. The individual split-level structures contain eight (8) attached, single stacked flats and single-story “atrium” units. Each of the Courts structures will be placed on a 3,000 square feet minimum lot. *The Courts* feature two (2) swimming pool/spa complexes, as well as landscaped walks and paths serving as private amenities (See Figure III- 5).

### *The Manors*

Planning Area 5 consists of 96 attached senior residences on 5.0 acres at a target density of 20 DU/Ac. The individual split-level structures contain four (4) and six (6) attached, single stacked flats and single-story “atrium” units. Each of the Manors structures will be placed on a 3,000 square feet minimum lot. *The Manors* feature landscaped walks and paths serving as private amenities (See Figure III-6).

### *The Resort*

Planning Area 6 consists of 96 senior townhomes on 6.5 acres at a target density of 15 DU/Ac. *The Resort* draws inspiration from the architectural heritage of the courtyard housing found in Southern California communities such as Pasadena in the 1920’s. The Resort buildings consist of senior townhomes with two story and three story elements. Each of the Resort structures will be placed on a 3,000 square feet minimum lot. A private recreation/swimming pool/spa complex is sited at the primary project entry from Cawston Avenue (See Figure III- 7).

### *Conservation Site*

Planning Area 7 consists of a 32.5 acre open space area containing an archaeological site. This area is to be left in its natural state with no disturbance by Peppertree residents. The conservation site contains Native American cultural resources which will be preserved on site. The Initial Study for the project contains additional details on the archaeological resources in this area.



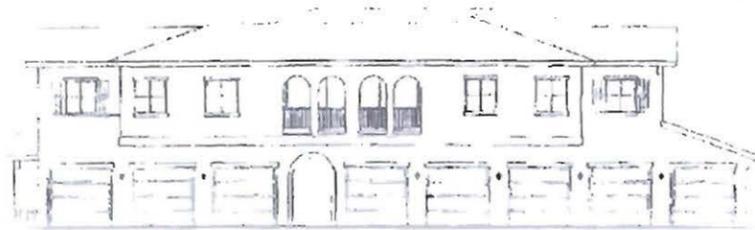
Front elevation

Monterey style architecture is a combination of Spanish and Colonial styles of architectural characteristics. Monterey emphasizes these characteristics:

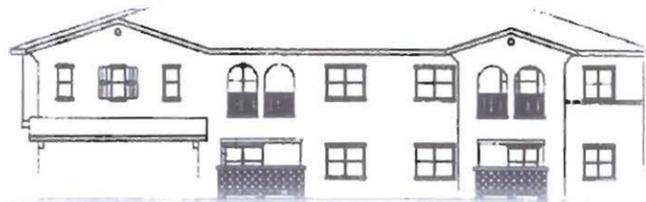
1. earthy tones
2. simple rustic detailing
3. low-pitched gable roof
4. second story balcony with wood railings and Columns
5. simple two-story



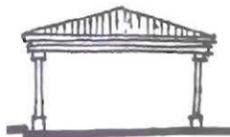
Window/balcony details



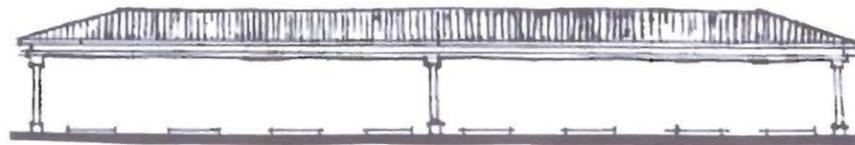
Right elevation (garages)



Rear elevation



Typical side carport elevation



Typical front carport elevation

The Courts consist of 144 senior townhome residences on 9.0 acres at a target density of 17 units per acre.



Conceptual Courtyard configuration

One (1) garage or carport parking space will be provided for each dwelling unit plus one (1) guest parking space for every ten (10) units. Carports with sloped roof design and architecture compatible with the surrounding buildings will be provided as required by the City.

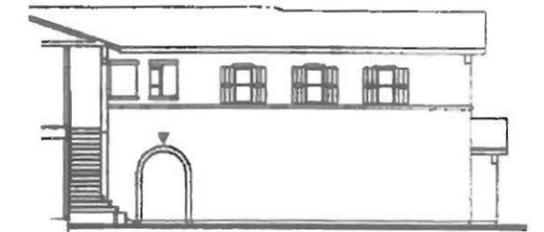
# The Courts (PA 4)

Figure III-5



Courtyard Wall

The Courts draws its inspiration from the architectural heritage of the courtyard housing found in Southern California communities such as Pasadena in the 1920's. The split-level structures contain eight (8) single stacked flats and single story 'atrium' units.



Courtyard



Front elevation

\*Illustrations are conceptual, actual architecture will be provided at Site Development Review.

# The Manors (PA 5) Figure III-6



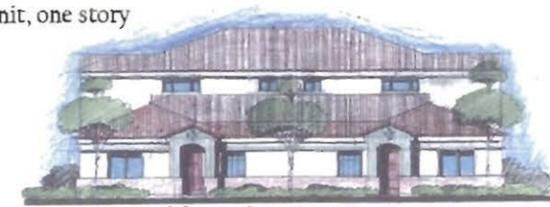
Stucco with little or no texture. Use of some horizontal siding or board and batten to sheath second story. Entire structure painted white or creamy beige with accent colors for doors and windows.



Typical front elevation 'B', six unit, two story



Typical front elevation 'A', four unit, one story

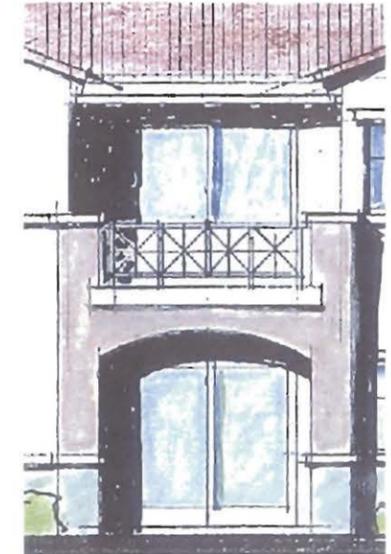


Typical front elevation 'A', six unit, two story

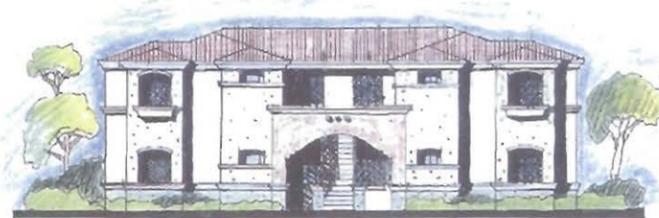


Typical side elevation

Typical *Manors* balconies with iron rails and columns. Second story balcony are usually cantilevered and covered by principal roof.



Side balcony detail



The *Manors* consist of 96 attached residences on 5.0 acres at a target density of 20 units per acre. The individual split level structures contain four and six attached single stacked flats and single-story 'atrium' units.

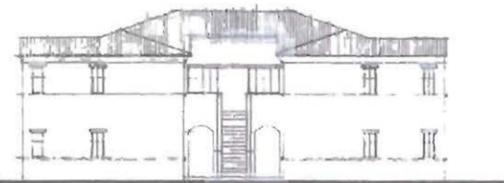


Typical side elevation

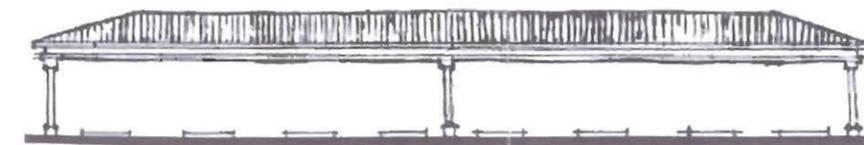


Typical side carport elevation

One (1) garage or carport parking space will be provided for each dwelling unit plus one (1) guest parking space for every ten (10) units. Carports with sloped roof design and architecture compatible with the surrounding buildings will be provided as required by the City.



Typical rear elevation



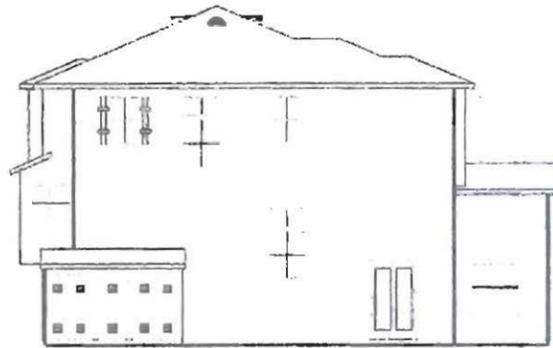
Typical front carport elevation

\*Illustrations are conceptual, actual architecture will be provided at Site Development Review.



# The Resort (PA 6) Figure III-7

The *Resort* consists of 96 senior townhome residences on 6.5 acres at a target density of 15 units per acre.



Typical side elevation

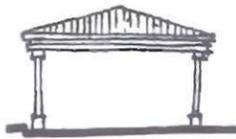


Conceptual Front Elevation



Second story balcony projecting

Stucco with little or no texture. Entire structure painted white or creamy beige with accent colors for doors and windows. Wood accent details and tile roofing.



Typical side carport elevation

One (1) garage or carport parking space will be provided for each dwelling unit plus one (1) guest parking space for every ten (10) units. Carports with sloped roof design and architecture compatible with the surrounding buildings will be provided as required by the City.

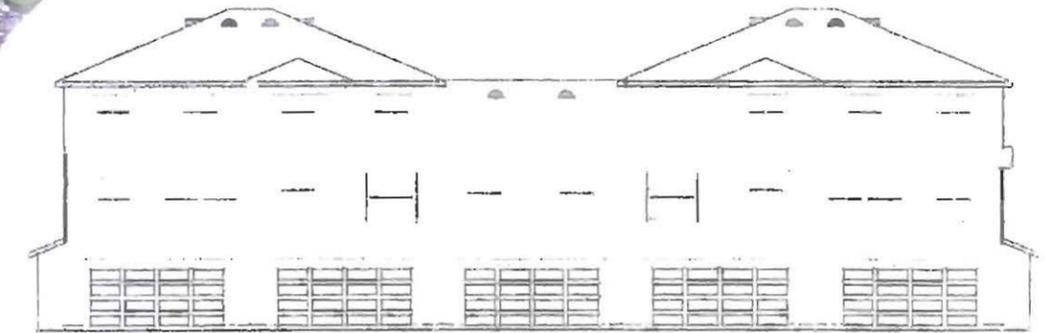


AEI CASCO

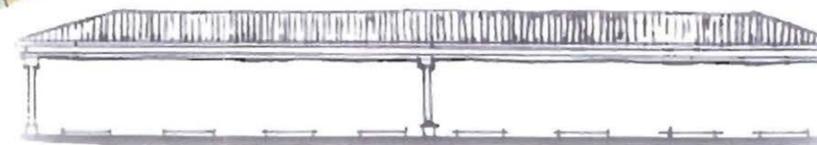
Peppertree Specific Plan



The *Resort* responds to the site topography integrating one and two-story stacked garden units, with some third story pop-up elements and city view townhomes along the south face of the foothills. The split level structure minimizes grading and enhances the natural landform by reducing the size of the building pad levels. The *Resort* is adjacent to the open space area with passive parks and hiking trails.



Typical rear elevation with garages



Typical front carport elevation

\*Illustrations are conceptual, actual architecture will be provided at Site Development Review.

# IV. Infrastructure

## A. Circulation

The primary vehicular access for the project will be Cawston Avenue on the east and Menlo Avenue on the south.

### Street Designations

The existing street right-of-way and designations are as follows:

- Cawston Avenue—88' R/W Secondary Highway
- Menlo Avenue —66' R/W Local collector

### Phasing

Phasing of onsite and adjacent street improvements will occur as the build-out continues. The development of standards for the vehicular and pedestrian circulation will be as follows:

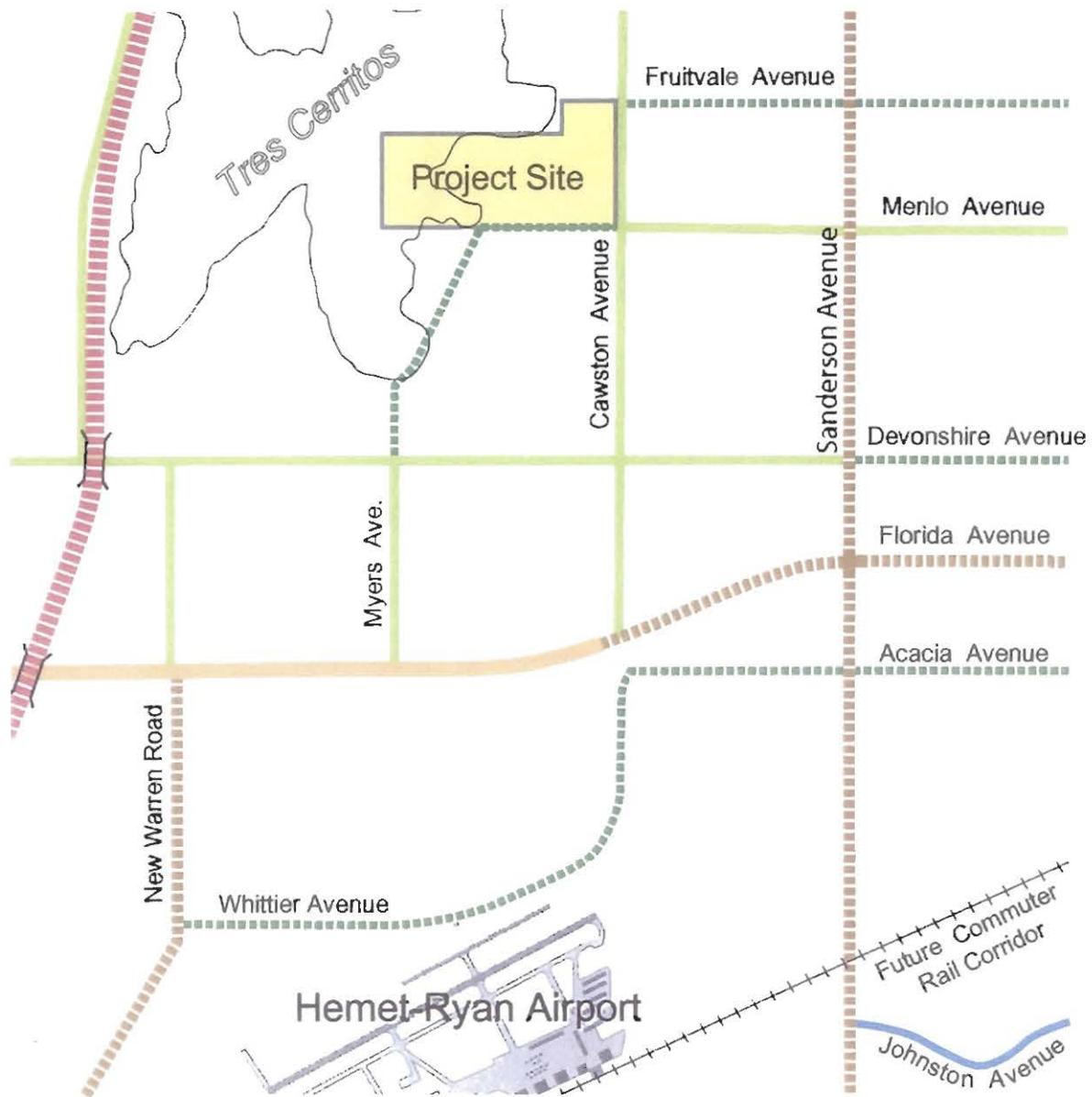
- All heavy traffic will access the site off Cawston Avenue or Menlo Avenue;
- Landscaping requirements for all vehicular access will be in accordance with the streetscape treatment as describe in the Peppertree Specific Plan Design Guidelines;
- All private access routes will be constructed as follows:

1. The main street (Street 'A') connecting Menlo Avenue on the south and Cawston Avenue on the east will consist of a fifty foot (50') wide right-of way with 39' of paving and a pedestrian sidewalk on one side. The opposite side has no sidewalks in order to accommodate parallel parking at key locations. (See Figure IV-3 and Figure VI-3 for the streetscape).

2. Vehicular traffic within the single family detached housing areas will be handled by private streets (Streets 'B'-'G') and alleys (Alleys 'A'-'E') ranging from 29' to 38' wide (See Figure

# General Plan Circulation Map

Figure IV-1



## Legend

| Classification                 | Right of Way |
|--------------------------------|--------------|
| Local Collector                | 60'          |
| Collector                      | 66'          |
| Secondary Highway              | 88'          |
| Major Highway                  | 100'         |
| Enhanced R.O.W.                | 100'-134'    |
| Proposed Freeway 79 Alignment* | 134'-210'    |
| Major Bridge Crossings         |              |

\* Area requiring further study to determine ultimate highway 79 alignment

IV-3, Figure VI-4 and Figure VI-5 for the streetscape).

3. For the Manors, Courtyards, and Terraces vehicular access will be provided by 25' wide alleys (Alleys 'F'-'R") (See Figure IV-3 and Figure VI-6 for the streetscapes).

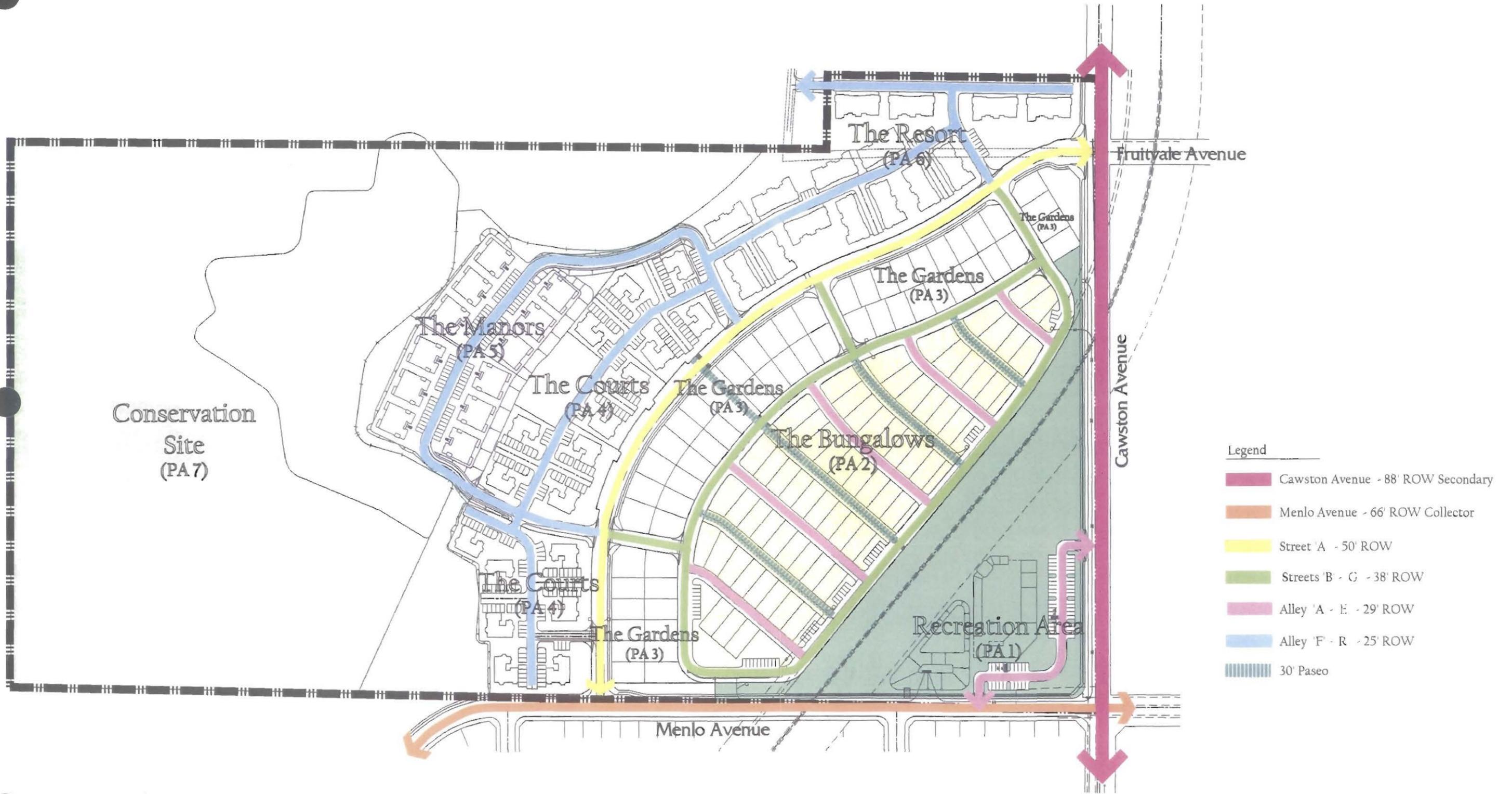
#### *Pedestrian Circulation*

All development within the Specific Plan shall incorporate pedestrian connections to all appropriate walkways and assembly areas.

- Peppertree Specific Plan will provide numerous sidewalks to connect the residents with the recreational area located in the southeast corner of the project.
- Paseos are provided within the single-family residential detached housing as access to the open space and recreation area. All paseos will be 30' in width and consist of a meandering sidewalk and landscaping (See Figure IV-3 for the cross section of the paseo and Figure VI-9 for the Streetscapes).
- The adjacent residences will front directly onto the paseos to stimulate a sense of place.

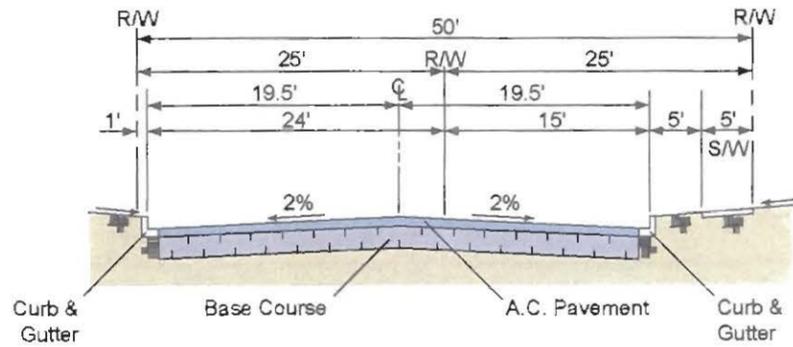
# Circulation Plan

Figure IV-2

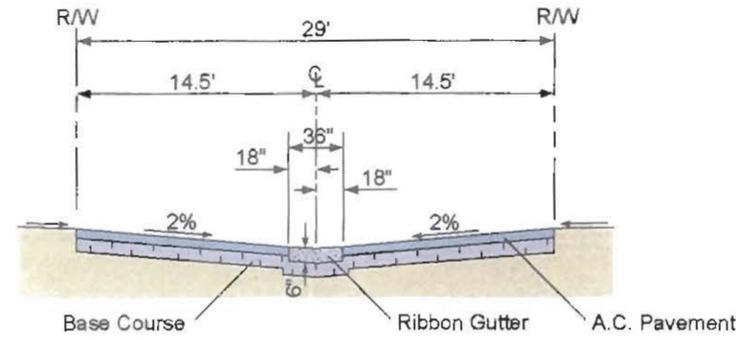


# Cross-Sections

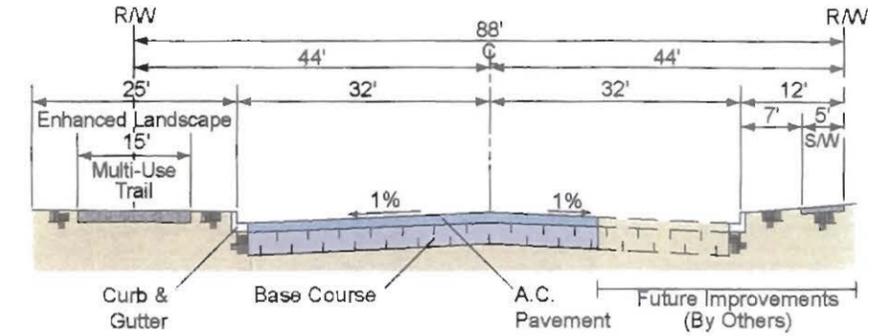
## Figure IV-3



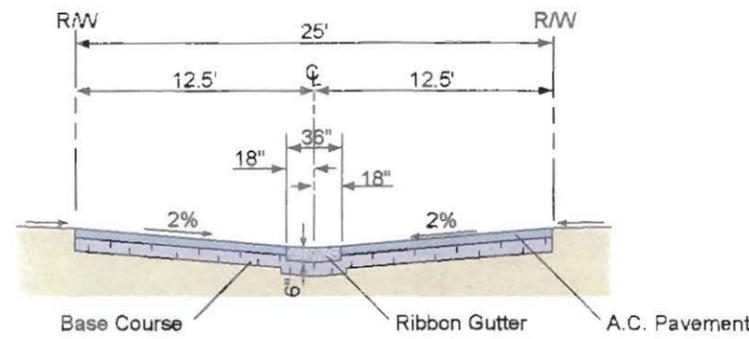
**TYPICAL PRIVATE STREET SECTION**  
**STREET 'A'**  
(Not To Scale)



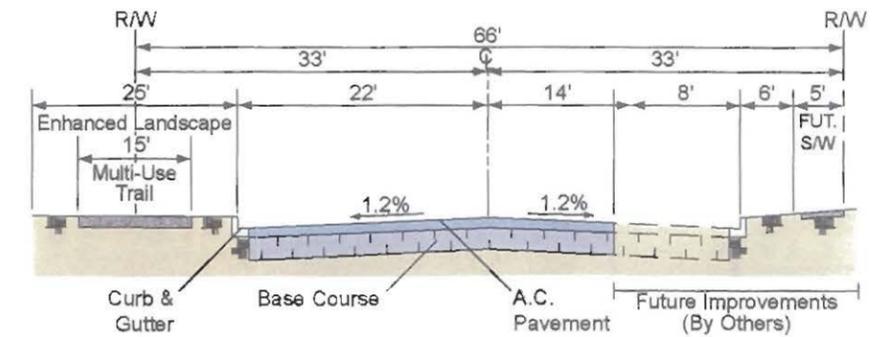
**TYPICAL PRIVATE ALLEY SECTION**  
**ALLEY 'A'**  
(Not To Scale)



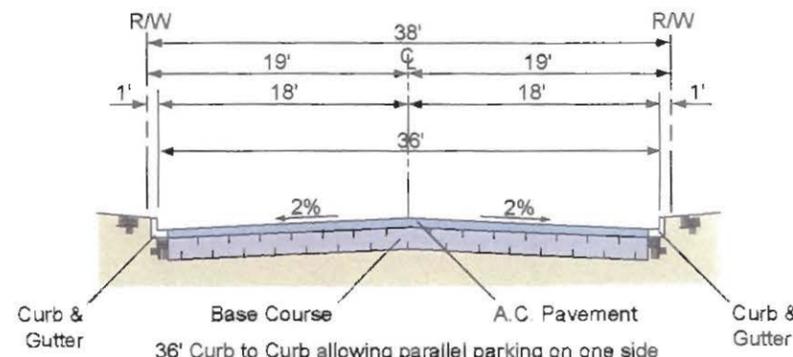
**TYPICAL STREET SECTION**  
**SECONDARY HIGHWAY**  
**PER C.O.H STUDY NO. ST-102**  
**CAWSTON AVENUE**  
(Not To Scale)



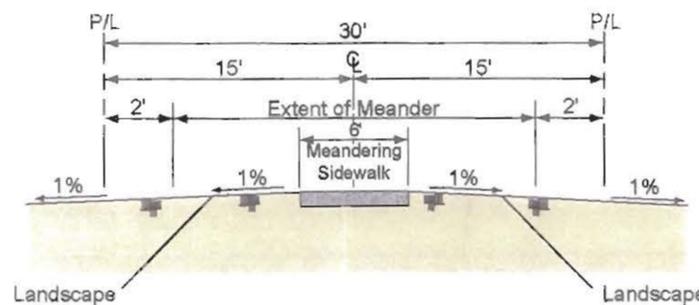
**TYPICAL PRIVATE ALLEY SECTION**  
**ALLEY 'B'**  
(Not To Scale)



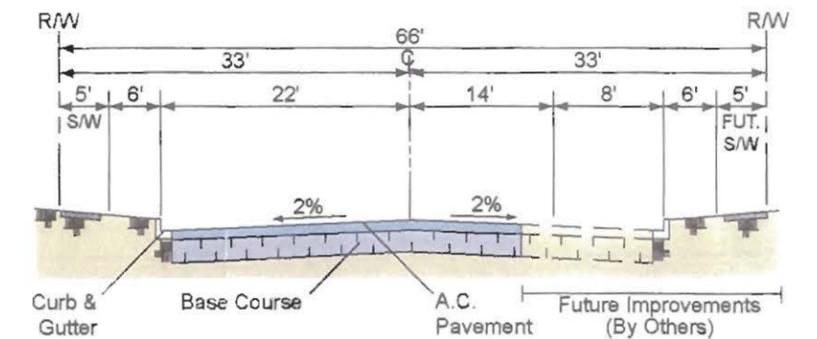
**TYPICAL STREET SECTION GENERAL LOCAL STREET**  
**C.O.H. STD. NO. ST-104**  
**MENLO AVENUE (From MWD Easement to Cawston Avenue)**  
(Not To Scale)



**TYPICAL PRIVATE STREET SECTION**  
**STREETS 'B', 'C', 'D', 'E', 'F', & 'G'**  
(Not To Scale)



**TYPICAL SECTION**  
**PEDESTRIAN PASEO**  
(Not To Scale)



**TYPICAL STREET SECTION GENERAL LOCAL STREET**  
**C.O.H. STD. NO. ST-104**  
**MENLO AVENUE (From MWD Easement to West)**  
(Not To Scale)

## B. Water and Sewer

### *Water*

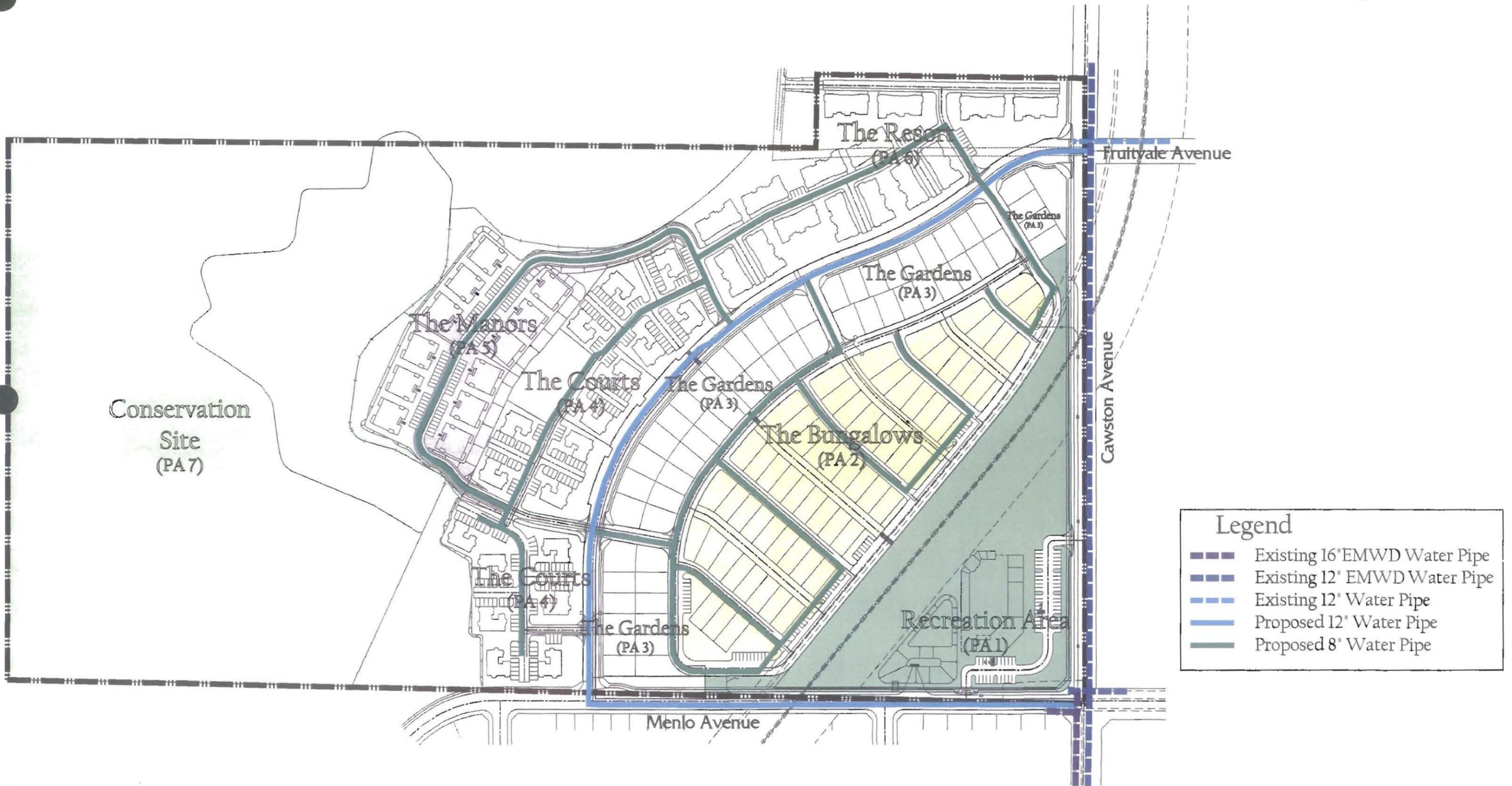
Water services will be provided by Eastern Municipal Water District (EMWD). Currently, there are two (2) existing water lines, one 16" water line that extends northerly in Cawston Avenue to Menlo Avenue and the second line extends east from Cawston Avenue into Menlo Avenue. EMWD has reviewed the project and can provide water service, EMWD will be providing the project with the required letter of available water per SB 221.

### *Sewer*

Sewer collection and treatment for the project are provided by Eastern Municipal Water District (EMWD). Approximately 303 units located in the north quadrant of the project will be served by the existing 24" diameter gravity sewer main located long Cawston Avenue. As for the rest of the residential units in the project site, gravity sewer main will be constructed to accommodate the flow and directed south to Menlo Avenue and easterly to the an existing sewer lift station located about 650' south of Menlo Avenue at Seattle Street. The existing sewer lift station will have to be redesigned to accommodate the sewage inflow from the Peppertree Specific Plan. EMWD has reviewed the project and will provide sewer service.

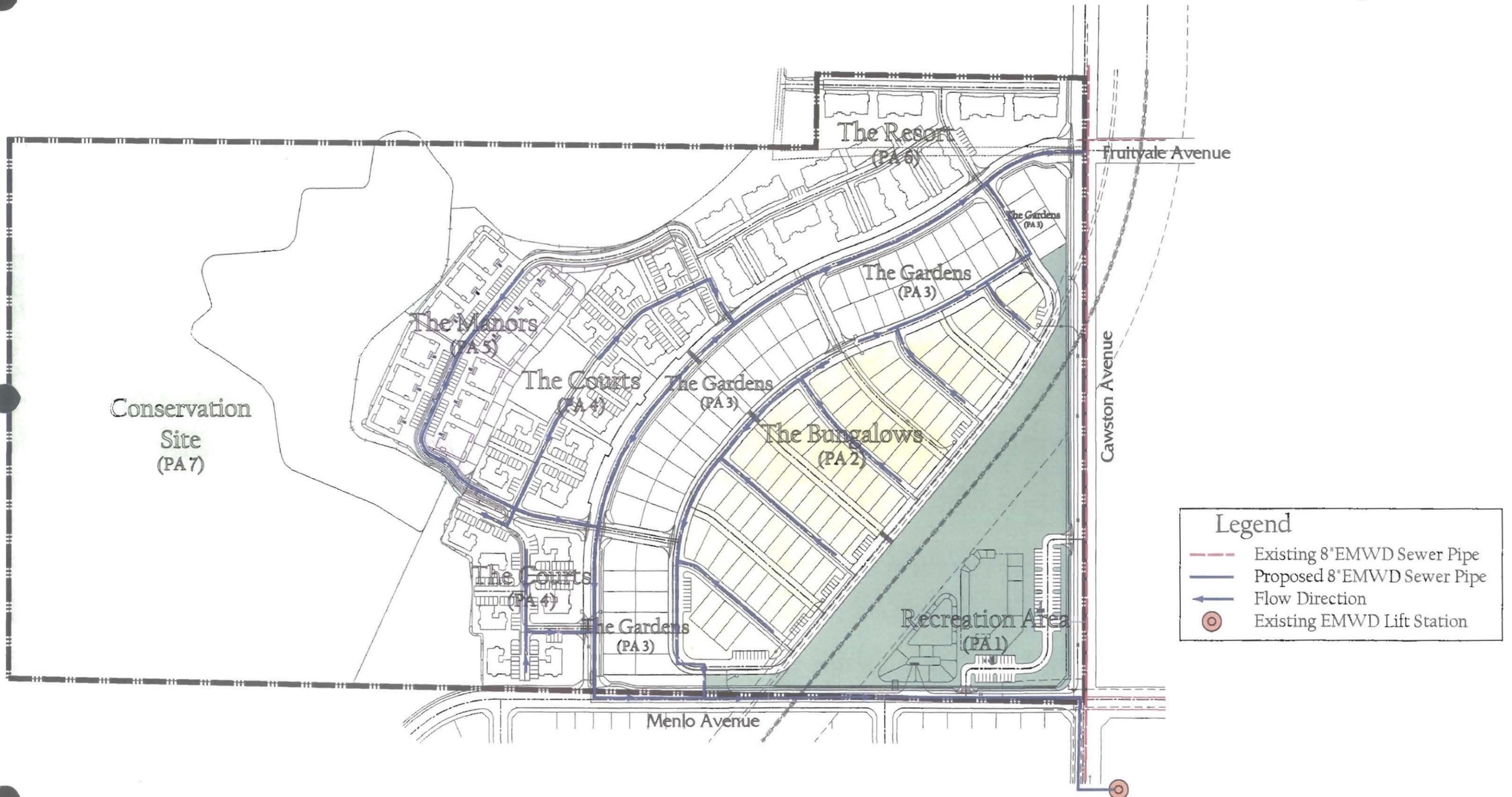
# Water Plan

Figure IV-4



# Sewer Plan

Figure IV-5



## C. Drainage

The U.S. Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map for the City of Hemet, Riverside County indicates that the vast majority of the site is in a Zone 'C' flood plain (areas of minimal flooding). A small sliver at the southeast corner of the property is contained in a Zone 'A' flood plain indicating a small area of 100 year flooding adjacent to the recreation center. Normal grading techniques employed to grade the recreation center and parking lot will elevate these facilities out of the Zone 'A' flood plain.

Runoff from developed areas of the City east of the site impact the project area and the hillsides to the north and west contribute additional flows. The Hydrology Manual published by Riverside County Flood Control and Water Conservation District was used to compute storm runoff quantities and flow rates. Flood Control improvements implemented during the development of this project will address existing problems and mitigate impacts created by this project. Storm water from the project will be collected, transported and discharged as follows:

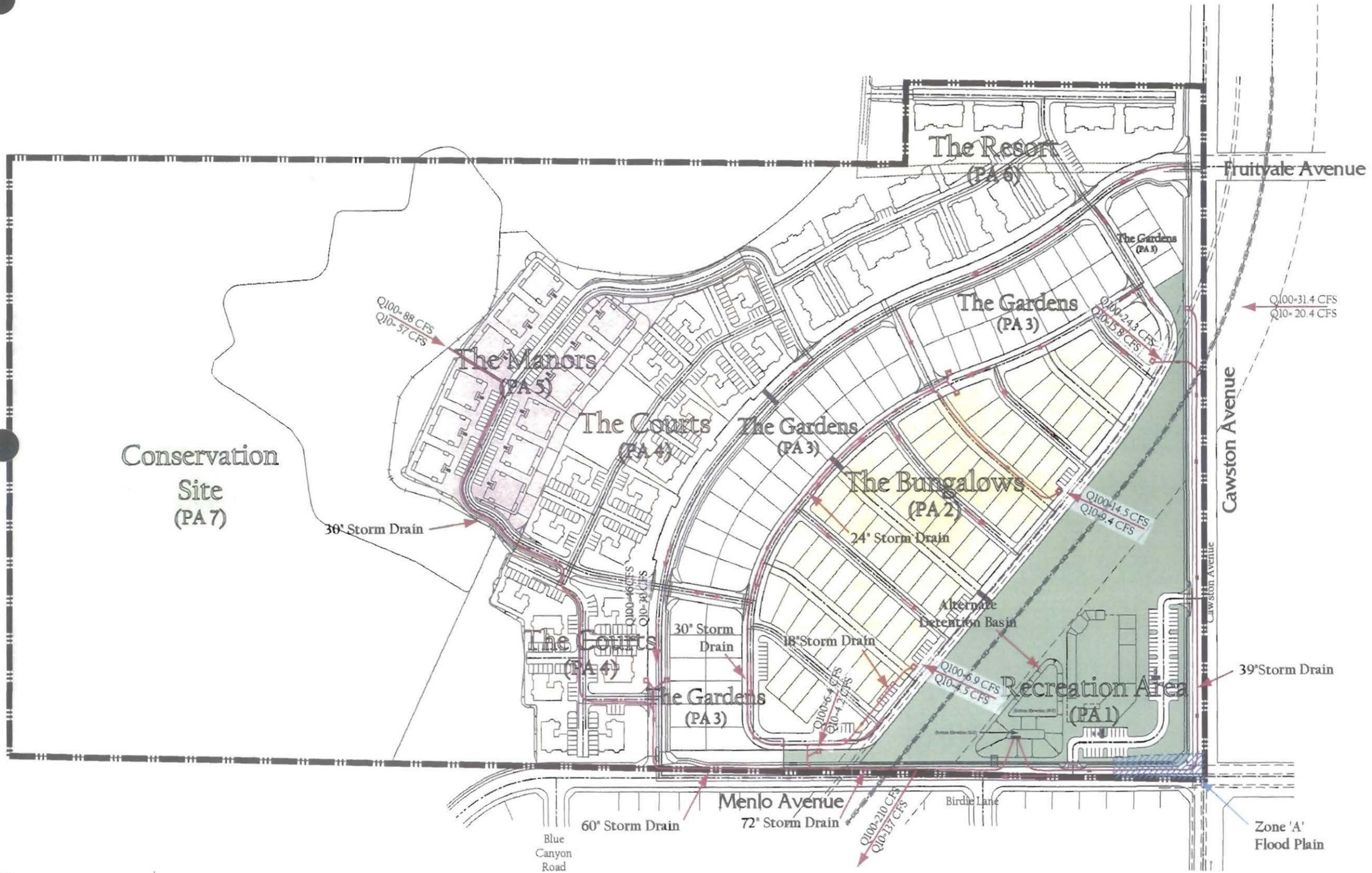
- Storm water generated from the hillside to the north and west of the project will be collected in a storm drain system to be installed within the Specific Plan streets and Menlo Avenue and discharge into the detention basin located on the north side of Menlo Avenue between the MWD right of way and the recreation center.
- The detention basin has been sited within the project north of Menlo Avenue and will receive storm water by receiving the discharge from the storm drain system into this basin. Through a metered outlet, the basin will discharge onto Menlo Avenue where storm water will then cross at the low point in Menlo Avenue and flow southerly similar to historic drainage conditions.

A sump pump will be constructed to dewater the basin in 72 hours or less (see Figure IV-6).

- The detention basin being constructed will possess sufficient storage to accept the additional volume of storm runoff due to the development of the Peppertree Specific Plan. This additional volume is estimated to be 22,700 cubic-feet or about one-half acre-foot during a 100 year, 6-hour storm.
- The project site is subject to runoff from approximately 20 acres of tributary area east of Cawston Avenue. This flow, estimated to be about 26 cfs, now enters the property on the east boundary midway between Menlo Avenue and Fruitvale Avenue and travels in a southwest direction. The Specific Plan will be graded to collect the water at that location and conduct it in a storm drain in Cawston and Menlo Avenues to the detention basin north of Menlo Avenue proposed for this project.
- Storm water generated within the developed portion of the project will be carried in the internal streets, collected into storm drains at appropriate locations and discharged into the detention basin on the north side of Menlo Avenue. While the single-family portion of the Specific Plan will be graded to drain toward the Open Space / Recreation Center area, storm water will be collected into storm drains along the west side of the Open Space area and conveyed to the detention basin in subsurface storm drains.
- Storm water generated within the Recreation / Open Space area will surface flow into Cawston or Menlo Avenues and flow in a storm drain or within the streets into the detention basin north of Menlo Avenue.

# Drainage Plan

Figure IV-6



## D. Grading

Grading of the site including vehicular circulation, dust control, and erosion control shall comply with all regulations and standards adopted by the City of Hemet and the South Coast Air Quality Management District.

Conceptual grading of the project is illustrated in detail on Vesting Tentative Tract Map No. 29843. It is estimated that the Specific Plan grading, will move approximately 178,000 cubic yards of earth. Incorporating preliminary soil losses into the grading, it is estimated the project will require up to 200,000 cubic yards of imported earth to bring the site to finished grade. The excavated material will remain on site. The source of the imported material will be pursuant to the project grading contractor and determined at the time of project construction.

Table IV-1: Earthwork Breakdown

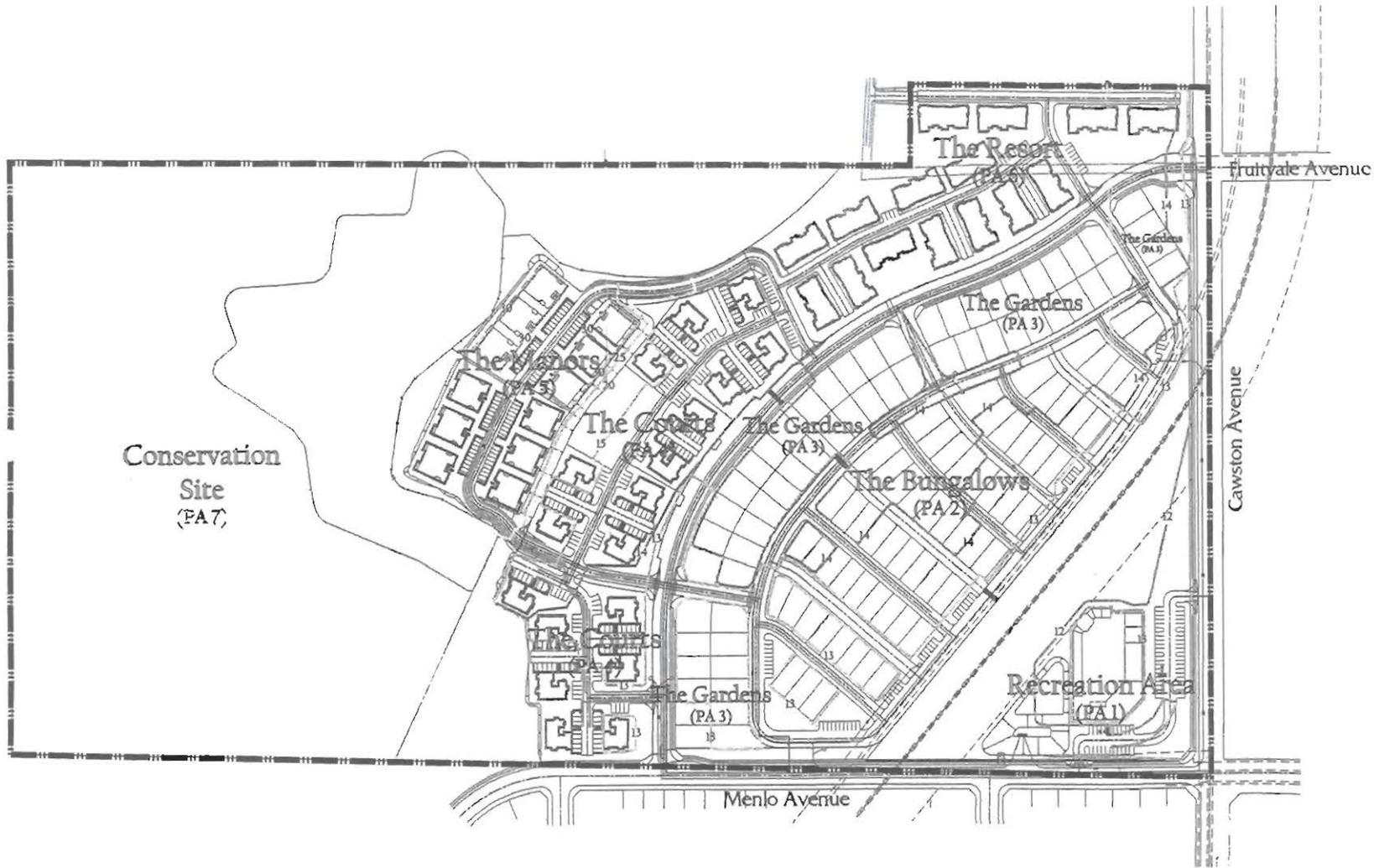
Grading in the Specific Plan project area shall be performed in accordance with the following criteria:

|                                   | Excavation | Embankment | Total      |
|-----------------------------------|------------|------------|------------|
| 1. Residential & Recreation Areas | 9,000 cy   | 169,000 cy | 178,000 cy |

1. Where cut and fill slopes are created in excess of three feet (3') in vertical height, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to approval of grading plans. The plans shall be reviewed for type and density of ground cover, shrubs and trees.
2. The applicant and/or individual developers shall be responsible for the maintenance and upkeep of all planting and irrigation

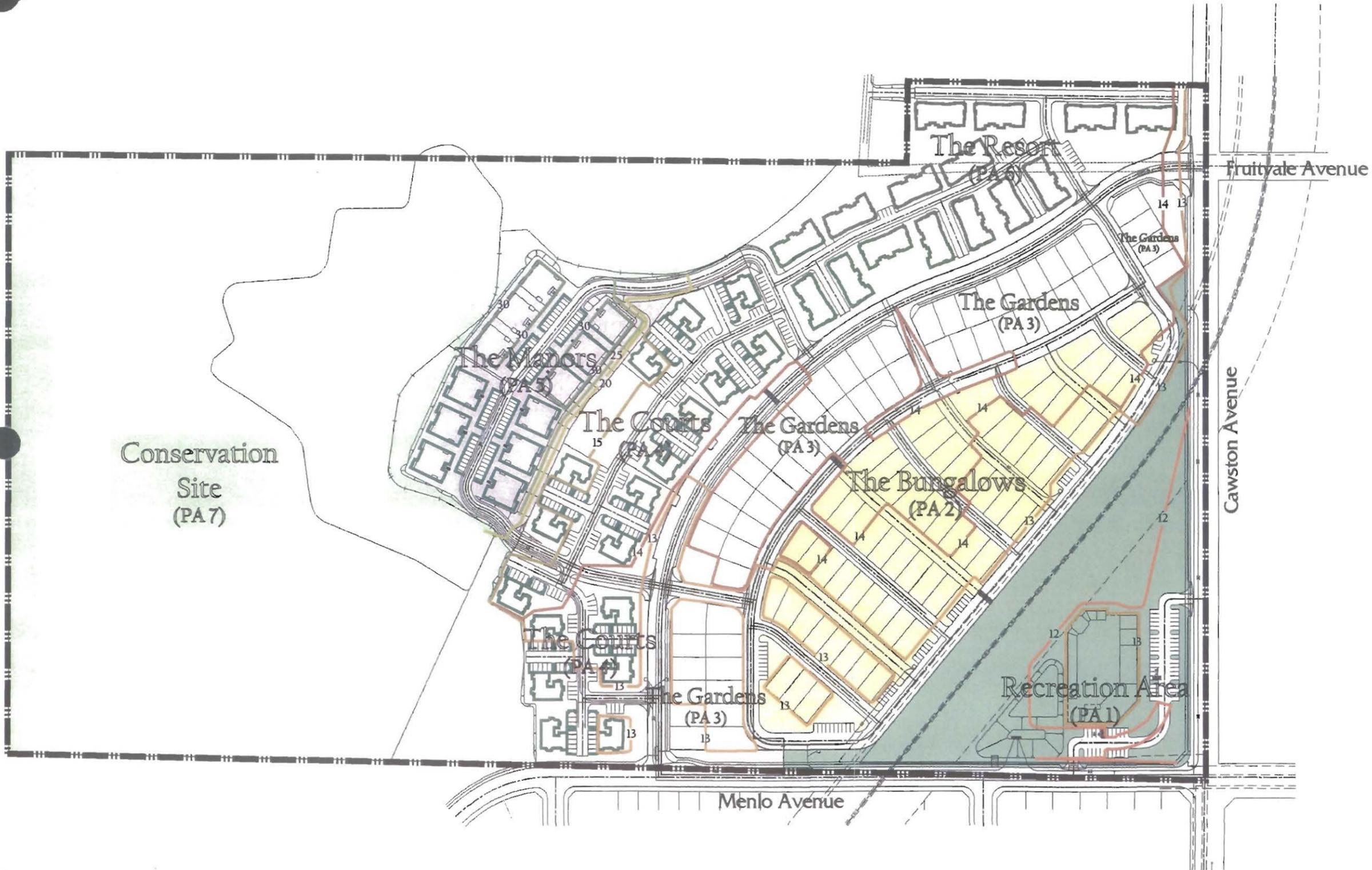
# Conceptual Grading Plan

Figure IV-7



# Conceptual Grading Plan

Figure IV-7



systems until such time as those operations become the responsibility of the Homeowners Association established specifically for this project.

3. Angular forms shall be prohibited. The grading form shall reflect the natural rounded terrain.
4. Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
5. The overall shape, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
6. The toes and tops of all slopes in excess of ten feet (10') in vertical height shall be rounded with curves with radii designed in proportion to the total height of the slope where drainage and stability permit such rounding.
7. Cut or fill slopes exceeding 100' in horizontal length, shall be graded to meander the toe and top of the slope.
8. Natural features such as significant rock outcrops shall be protected to the greatest extent feasible in the siting of individual lots and building pads.
9. Dwellings and/or shade structures shall be located a minimum of ten feet (10') from the toe and tops of all slopes over ten feet (10') in vertical height or as required by the Uniform Building Code (UBC).
10. Brow ditches, terrace drains and other minor swales shall be lined with natural erosion control materials or concrete.

11. All driveways and project roadways shall have gradients which do not exceed a maximum grade of ten percent (10%).
12. Prior to any development of any portion of the plan, a conceptual grading plan for the phase in progress shall be submitted for Planning and Engineering Department approvals. The grading plan shall be used as a guideline for subsequent detail grading plans for individual stages of development within the phase and shall include the following:
  - Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process;
  - Approximate time frames for grading and identification of type size areas which may be graded during the high probability rain months of January through March;
  - Preliminary pad and roadway elevations.
13. Grading shall not be permitted prior to issuance of a grading permit for the development area.
14. All cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal to one (1) vertical (2:1).
15. A Storm Water Pollution Prevention Plan (SWPPP) and associated Erosion Control Plan will be prepared for each phase of grading.

## E. Utilities

Utilities to the site will be provided by the following public and private agencies:

|             |                                  |
|-------------|----------------------------------|
| Water:      | Eastern Municipal Water District |
| Sewer:      | Eastern Municipal Water District |
| Electric:   | Southern California Edison       |
| Gas:        | Southern California Gas Company  |
| Telephone:  | Verizon California               |
| Cable T.V.: | Adelphia                         |

All service lines, conduits, cabling and piping shall be located underground and within the public rights-of-way, private streets or in recorded easements and extended to the site as necessary.

## F. Public Facilities & Services

### Fire Protection

Fire Protection services for the project area are provided by the City of Hemet Fire Department, with the nearest fire station located at 4110 West Devonshire (Fire Station No. 3).

### Police Protection

Police protection and law enforcement services for the project area are provided by the City of Hemet Police Department located at the City Civic Center, 450 East Latham Avenue.

### Emergency Services

Paramedic and emergency medical services to the project site are provided by Hemet Valley Ambulance Service, with medical facilities and services available at Hemet Valley Medical Center and City of Hemet Police Department.

# V. Zoning

## A. Purpose and Objectives

The purpose of the Peppertree Specific Plan Zone is:

- To set standards for the development of a resort lifestyle active adult oriented community;
- To provide flexibility in site design, density and housing unit options in order to stimulate variety and innovation within the framework of a quality multi-use environment;
- Achieve more interest, individuality and character within and among the planned neighborhoods;
- Provide criteria for the inclusion of compatible uses designed to service residents and visitors of the community;
- Encourage the most effective use of the project area with a variety of environments providing the necessary public facilities, ample open space that will result in a functional, well-balanced community;
- Development of all Planning Areas will require a Site Development Review (SDR) to be reviewed and approved by the Hemet Planning Commission, to ensure compliance with the standards and guidelines of the Specific Plan.

## B. Development Standards

### *Planning Area 1 (Recreation Area)*

#### *Permitted Uses*

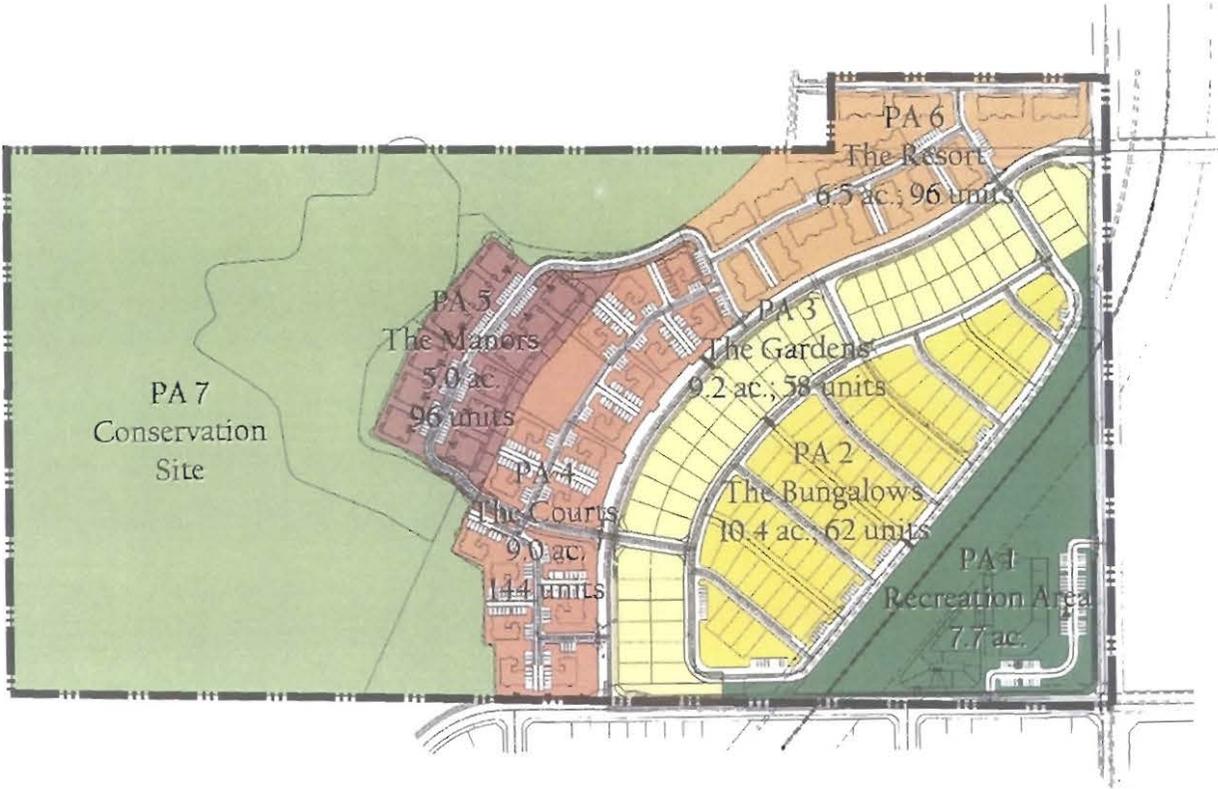
Related parking, recreational and open space amenities including but not limited to parks, playgrounds, and the community recreation buildings. Development within this planning area shall require review and approval by the Planning Commission prior to the issuance of any building permit in the planning area.

#### *Development Standards*

- Minimum lot size: No Minimum

# Planning Areas

Figure V-1



- Building height: 35' maximum. Architectural features which do not exceed the height limit by more than five feet (5') will be permitted.
- Lot coverage: 50%.
- Front/streetside setback: 25' minimum
- Side/rear setbacks: Ten feet (10') minimum
- Building Separation Setback: 20' minimum between structures.
- Lighting: All lighting, exterior and interior, shall be designed and located to maintain the light on site.
- Trash and storage areas: All storage, including cartons, containers and trash, shall be shielded from view within a building or area enclosed by a block wall not less than six feet (6') in height and must be covered to prohibit animal intrusion.
- Open space: A minimum of ten percent (10%) of the net area of the project is to be reserved as convenient, accessible and useable open space area

### *Planning Area 2 (The Bungalows)*

#### *Permitted Uses*

The following uses are permitted in the Bungalow Neighborhood, Planning Area 2:

- Detached single-family dwellings.
- Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails.
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

### *Development Standards*

- Minimum lot size: 3,600 sf minimum;
- Building Height: 35' maximum. Architectural features and chimneys which do not exceed the height limit by more than five feet (5') will be permitted.
- Density: Six (6) units per acre.
- Lot coverage: 60%
- Lot width: Minimum lot width at building setback shall be 40'.
- Lot depth: Minimum lot depth 90'.
- Front setback: Minimum front setback from the property line adjacent to pedestrian paseo shall be five feet (5') for the first story and eight feet (8') for the second story.
- Side setback:
  - a) The side yard set back shall be four feet (4') from property line to structure and the structure at no point shall be closer than eight feet (8') to another building.
  - b) The side setback for the second story of any dwelling unit shall be eight feet (8') minimum to provide offset and building plane variation.
- Side abutting street: Ten feet (10') minimum setback from property line.
- Rear building setback: Ten feet (10') minimum for any portion of the dwelling unit (other than garage).
- Garage setback: Minimum of three feet (3') from property line adjacent to the alley. Vehicular access to garage or carport shall have a minimum of 25' of unobstructed clear space directly behind the garage or carport to provide adequate back-up room.
- Private open space: 150 sf minimum per dwelling unit. The ratio of length to width may be no more than 3:1.
- Product mix: Maximum of 60% of product to be two story.
- Projections: Eaves, cornices, chimneys, outside staircases, balconies

and other similar architectural features may project 1'6" into any required front, rear or side setbacks, or within 2.5' of the property line per the Hemet Municipal Code. These setbacks must be consistent with applicable fire, zoning and building codes regarding separation of structures.

- Rear alleys: Paved width shall be 29'. No parking shall be allowed. Garage doors fronting on the alley shall be automatic, metal roll-up with windows.

(For typical lot plotting see Figure V-2).

### *Planning Area 3 (The Gardens)*

#### *Permitted Uses*

The following uses are permitted in Gardens Planning Area 3:

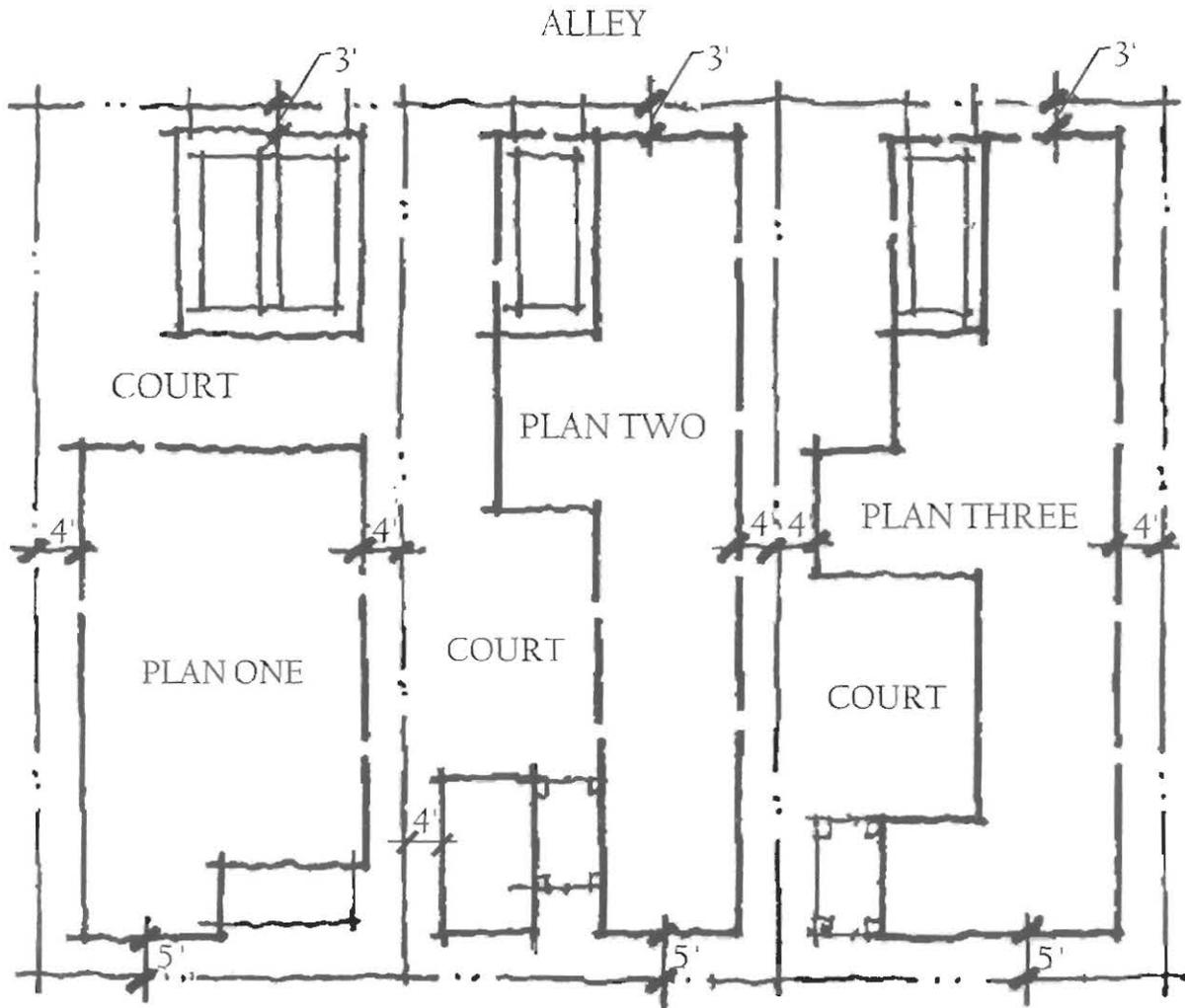
- Detached single-family dwellings.
- Public and private neighborhood or community non-commercial recreation centers and facilities including, but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails.
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

#### *Development Standards*

- Minimum lot size: 4,000 sf.
- Building height: 35' maximum. Architectural features and chimneys which do not exceed the height limit by more than five feet (5') will be permitted.
- Lot coverage: 60%.
- Density: Seven (7) units per acre.
- Lot width: Minimum lot width at building setback shall be 50'.
- Lot depth: Minimum lot depth of 80'.

# The Bungalows Typical Lot Plotting

Figure V-2



GREENBELT

Bungalows  
40x90 lot size

- Front building setback: Ten feet (10') minimum from property line for first story and 12' for second story.
- Minimum Side setback: Four feet (4') minimum.
- Side abutting street: Ten feet (10') minimum from property line.
- Rear setback: Ten feet (10') minimum.
- Garage setback: Ten feet (10') from front property line. Garage doors shall be automatic, metal roll-up doors with windows.
- Product mix: Maximum of 60% of product to be two story.
- Projections: Eaves, cornices, chimneys, outside staircases, balconies and other similar architectural features may project one foot six inches (1'6") into any required front, rear or side setback, subject to a limitation of 50% of the required setback. These setbacks must be consistent with applicable fire, planning and building codes regarding separation of structures.

(For typical lot plotting see Figure V-3).

*Planning Areas 4, 5, and 6 ( The Courts, The Manors, and The Resort)*

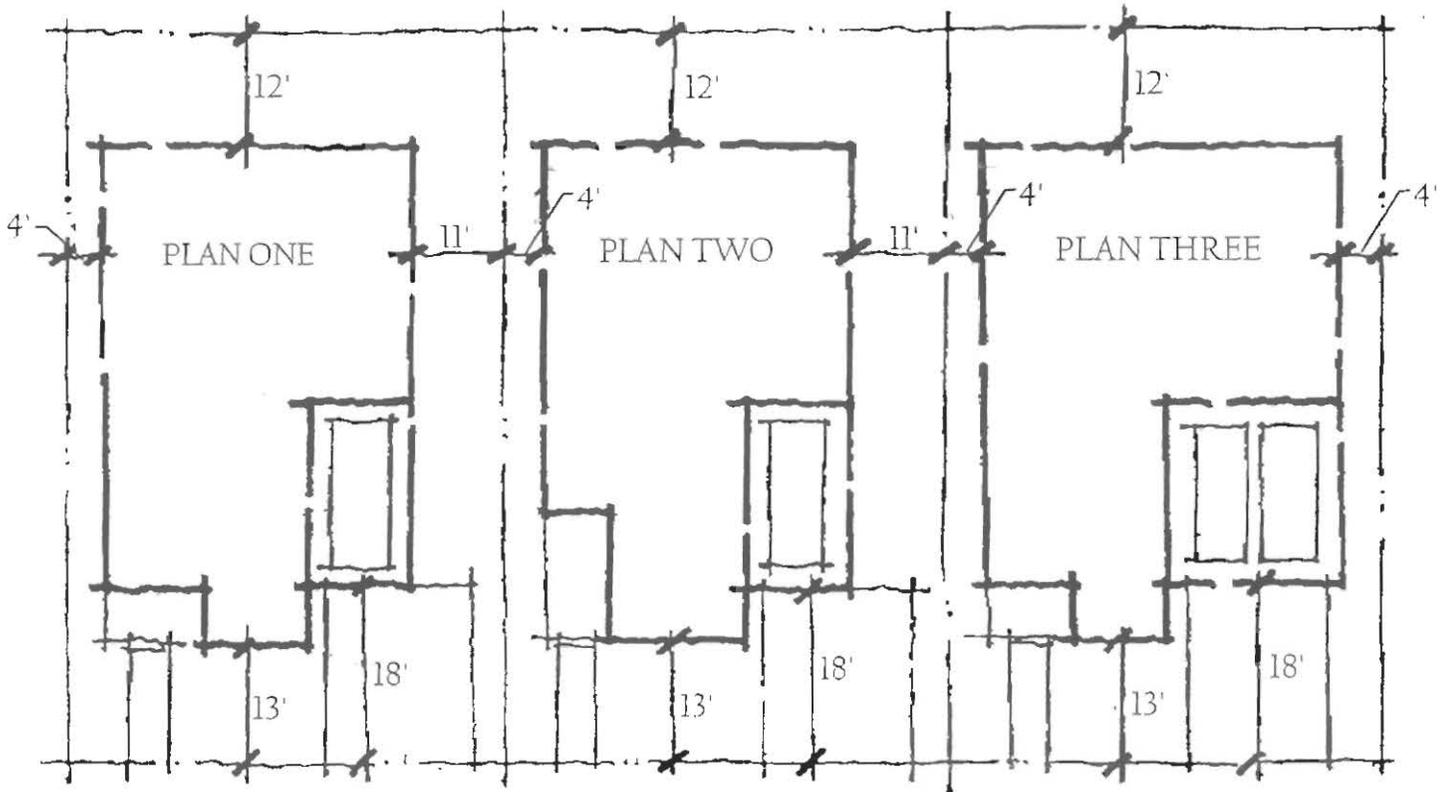
*Permitted Uses*

The following uses are permitted in The Courts, The Manors and The Resort:

- For-sale condominiums
- Townhomes
- Stacked flats
- Public and private neighborhood or community non-commercial recreation centers and facilities including but not limited to swimming pools, tennis courts, lakes, clubhouses, stables and trails
- Uses and structures customarily incidental or necessary to residential uses including, but not limited to garages, public and private parks, trails, greenbelts and common areas.

# The Gardens Typical Lot Plotting

Figure V-3



STREET

GARDENS  
50x80 lot size

#### *Development Standards*

- Lot size: Minimum lot size shall be 3,600 sf.
- Building height: Maximum 37'.
- Lot Coverage: 60%.
- Density: PA4—17 DU/Ac, PA5— 20 DU/Ac, and PA6-15 DU/Ac.
- Lot width: Minimum lot width at building setback shall be 30'.
- Lot depth: Minimum lot depth shall be 100'.
- Front setback: 25' minimum from the front property line. If a landscaped greenbelt or trail separates two (2) residential products, then a 15' setback shall be applied.
- Side setback: Ten feet (10') minimum.
- Building separation: minimum distance between buildings internal to the project shall be 15' .
- Rear setback: Ten feet (10'). Vehicular access to garage or carport shall have a minimum of 25' of unobstructed clear space directly behind the garage or carport to provide adequate back-up room.
- Parking requirements: One (1) space in a garage or carport for each dwelling unit plus one (1) guest parking space for every ten (10) units.
- Porches/projections in private useable space: no attached or detached covered patio shall be no closer than three feet (3') to the edge of the private usable open space measured from the nearest supports for the structure. Covered patios may be screened, including the exterior walls and ceilings.
- Product mix: Maximum of 60% of product to be two story.

# VI. Design Guidelines

## A. Introduction

The following Design Guidelines have been developed as a method of achieving a high quality, cohesive design structure for the Peppertree Specific Plan. The object of the design guidelines are:

- to provide the City of Hemet with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- to serve as design criteria for developers, builders, engineers, architects, and other professionals in preparing plans for construction;
- to lend guidelines in the review and evaluation of all development projects in the Specific Plan area;
- the Community Development Director, or his/her designee, shall have the authority review and approval for minor architectural changes not clearly within the scope of this provision;
- development of each planning area shall require review and approval by the Planning Commission as part of the Site Development Review (SDR) process.

Certain key design elements will contribute significantly to the establishment of a unique “sense of place” within the Specific Plan area. These fundamental elements—site planning, architecture, landscape, and other details—are established by the design guidelines, and ensure the desired character of development.

The design guidelines are intended to be flexible and illustrative in nature, with the capability of responding to unanticipated conditions and changes in buyer preferences. The representations contained herein are for conceptual purposes only, and are to be used as general visual aids for understanding the basic intent rather than absolutes, allowing flexibility in fulfilling the intended design goals and objectives. Creativity, innovation and consistent quality are encouraged in the implementation of these guidelines.

## B. Architectural Themes

The Peppertree Specific Plan proposes to design and build an innovative gated senior residential development. It offers highly diversified active senior-lifestyles with products that complement activities by incorporating various design elements including: traditional architectural styles, walkable environments with intimate and generous open spaces.

The following describes the architectural styles suitable for the neighborhoods and community lifestyles of Peppertree. The eclectic blend and flexibility in the use of each of the styles will generate a distinct sense of place within each neighborhood. The following architectural styles may be mixed throughout the project including within planning areas to create a post World War II neighborhood streetscape.



### Craftsman/ California Bungalow

The Craftsman style of architecture was introduced in the late 19th century, while the California Bungalow style began in California after evolving from the rich heritage of Craftsman details and use of architectural elements.

#### *Characteristics:*

Massing/ Form– simple box massing with the use of a full or partial elevated porch, and tapered short columns resting on larger square piers.

Roof Form– Low pitched gable roofs at 4:12 slope with eave overhangs and exposed rafter tails. The ridge beams are typically exposed and detailed with triangular knee brace, along with using ‘Flat’ tiles.

Elements– Multiple windows and shutters are typical design elements.



Material- Stone, brick veneer and wood siding are utilized as accent materials.

Colors- Range from light and medium earth tones to pastels, with minimal contrast between materials.

### Spanish Colonial Revival

Spanish Colonial Revival, widely known as Spanish Eclectic, uses enriched details and elements that become more familiar in the style in the early 1900's.

*Characteristics:*

Massing/ Form- Simple one and two story massing with court yards, archways and walls with windows that are recesses and asymmetric in form.

Roof Form- Low pitched gable roofs at 4:12 slope with eave overhangs, exposed rafter tails, along with an asymmetrical roof broken up into massing elements of varying heights with 'S' tiles.

Elements- Deep inset and irregular placed windows are used, along with shutters, and wrought iron, and tile accent details.

Materials- Stone walls, brick trim and wrought iron are utilized as accent materials.

Colors- Range from light to medium earth tones, with contrast between materials



### Monterey

The Monterey style architecture consists of Spanish influences combined with Colonial architecture of the East Coast.

*Characteristic:*

Massing/ form- Simple two story massing with projecting wood balconies.

Roof Form- Low pitched gable roofs at 4:12 slope with exposed rafter tails and use of 'Flat' tiles.

Elements- Simple balcony rails, French doors and windows

with shutters.

Material- Brick veneer as a one story accent element, and wood siding utilized as a two story accent material.

Colors- Range from light to dark earth tones, with contrast between materials.



### California Ranch

The California Ranch style is a 'west coast' style derived from a mixture of Farmhouse, Bungalow, and Spanish Ranch styles.

*Characteristic:*

Massing/ Form- Simple massing with low, horizontal rambling profile.

Roof Form- Low pitched roofs at 4:12 slope with eave overhangs, exposed rafter tails, and 'Flat' tiles.

Elements- Deep overhangs porches and shutters are typical design elements.

Material- Stone, brick veneer and wood siding are utilized as accent materials.

Colors- Range from light to medium earth tones, with minimal contrast between materials.

## C. Architectural Component

### *Overall Massing Residential*

- Provide Massing and building forms that will enhance and improve the street scene and visual relationships of the homes as they interact with other building massing, setbacks, and plotting conditions.
- Provide 18" architectural projections that will vary from style to style.
- Provide buildings that incorporate strong, yet consistent layering of exterior materials.
- Provide building forms and appropriate details to each architectural style.

### *Single Story Massing*

- Provide single story massing along the front elevations, to provide for a reduced scale along the street scene.
- Provide second story massing to be set-back from the first story building mass to increase the perceived setback.
- Provide variation in massing from building to building along the streetscape.

### *Plate Lines*

- Single story plate lines should be incorporated along some of the front yards, where possible, to provide for a reduced scale along the street. A single story plate line should be encouraged on the rear facade elevation allowing for greater light and air penetration, where feasible;
- Second story plate lines to be setback from first story elevations to efficiently break-up building mass and to increase the perceived yard setback, is recommended;
- Where more than one architectural style or theme is used in a

neighborhood, plate lines should be kept at the same level to create consistency among homes.

#### *View Windows*

- Primary second story view windows should be oriented to the front and rear of the homes to minimize views into adjacent side yards, when feasible.
- Secondary second story view windows may have views into the side yards.

#### *Windows and Doors*

- Architectural projections and recesses such as deep pop-out windows and doors, shutters, and pot shelves maybe used to achieve articulation and shadowing effect.
- The front entry should be articulated with the use of arches, porches, shutters, railings, and columns.
- Arched openings are encouraged.
- Reflective glass is prohibited.

#### *Rear and Side Elevations*

- Articulation of the rear and side elevations which are highly visible from arterials or off-site open space should be treated in a similar manner to the front elevation.

#### *Roofs*

- Provide massing and forms that are consistent with the architectural style selected.
- Provide a variety of roof pitches, hip, and gable forms that will enhance the composition of the street scene.
- Roof materials shall be comprised of variegated color tile, clay, slate, concrete or similar appearance tiles (unglazed).
- No asphalt or wood shingles permitted.
- Roof vents and appurtenances shall be positioned away from the

street and/or finished to match the roof color to minimize visual impact.

- Roof pitches and forms may vary in order to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the streetscene.

#### *Entries*

- Roof elements, columns, recesses or pop-outs, arches, and other architectural features should be used to further articulate the front entry/gate.

#### *Garages*

- Provide Garages that setback from the main massing of the front elevation so as to appear recessed.
- Provide a garage door patterns that vary from elevation to elevation and that are compatible with the architectural style.
- Patios, carports, and wall projections should be integrated into the overall landscaping of the project.

#### *Materials and Colors*

The materials and colors shall reflect consistency with the styles of architecture selected for each neighborhood.

- The generous use of natural materials (wood, stone, slate, etc...) shall be used to provide texture and scale to wall surfaces;
- Masonry, stucco, and (wood steel) shall be the primary building materials;
- Material changes should not occur at external corners, but may occur at “reverse” or interior corners or as a “return” at least two feet (2’) from external corners;
- Materials should be properly applied and correctly detailed, especially at the base of buildings, along cornices, eaves, parapets or ridge tops, and around entries and windows;
- Glass curtain wall construction and reflective glass is discouraged.

- Provide palette selection for each architectural style in order to avoid monotony, to avoid the singular use of color over another, and to avoid the frequent use of light colors.

#### *Articulation and Facades*

- Special architectural features, such as bay windows, decorative roofs and miscellaneous entry features may project up to three feet (3') into front setbacks;
- Trellises, canopies and fabric awnings may project up to five feet (5') into front setbacks.
- Facades should have a recognizable "top" defined by (but not limited to) one or more features such as: cornice treatments, roof overhangs with brackets, richly textured materials, and/or differently colored materials.

## D. Landscape Architecture

### *Entries*

A cohesive design theme for the community incorporating natural and rural landscape elements will be established at the primary and secondary entries and continued throughout the project.

The Peppertree Specific Plan has a hierarchy of entry statements at key focal points along Cawston Avenue and Menlo Avenue. The entry treatments will establish and reinforce a sense of arrival, community identity, and landscape character through the use of enhanced landscaping, theme elements, and signage. As the site is approached from a distance, the preserved hilltop “Tres Cerritos” in the northwest corner of the site will remain the dominant visual feature.

The primary entry on Cawston Avenue will provide a formal entry incorporating enhanced paving, monument signs, and more formal landscaping (See Figure VI-1). The secondary entry will be located on Menlo Avenue at a smaller scale than the primary entry, while still using the same materials and concept (See Figure VI-2).

### *Streetscapes*

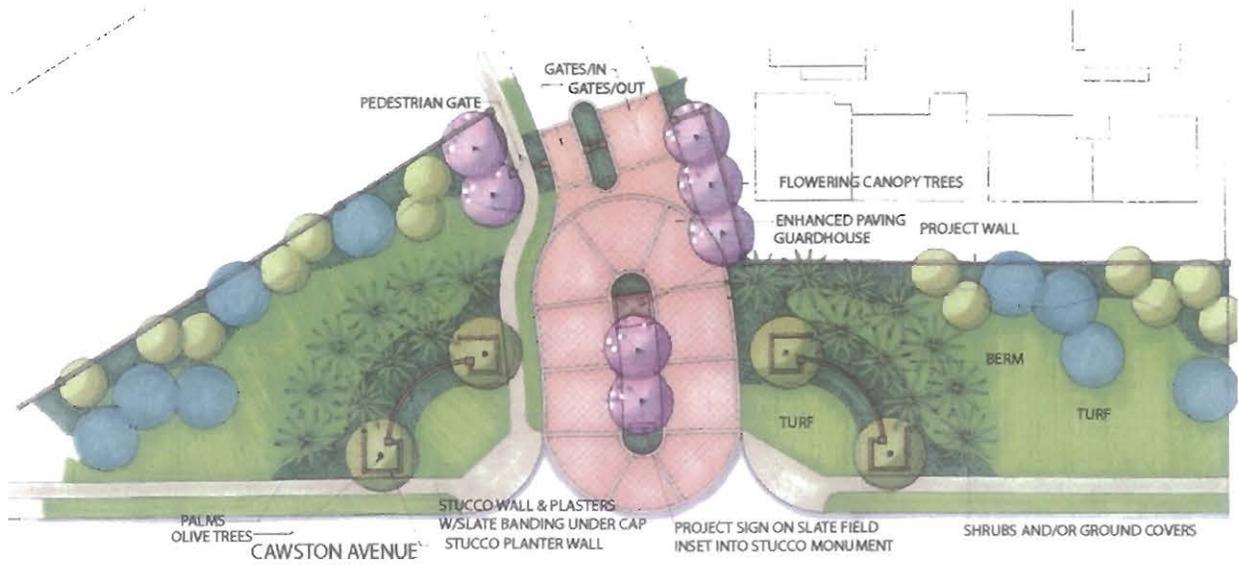
In order to achieve a cohesive overall circulation system for Peppertree and promote a strong sense of community, a consistent streetscape treatment is necessary and will be implemented throughout the Project.

Objectives include:

- Create a unifying landscape element throughout the community;
- Establish a hierarchy of roadway functions throughout the landscape treatment;
- Frame and emphasize views of open space features;
- Enhance the amenity and circulation value of the pedestrian experience.

# Primary Entry Treatment

## Figure VI-1



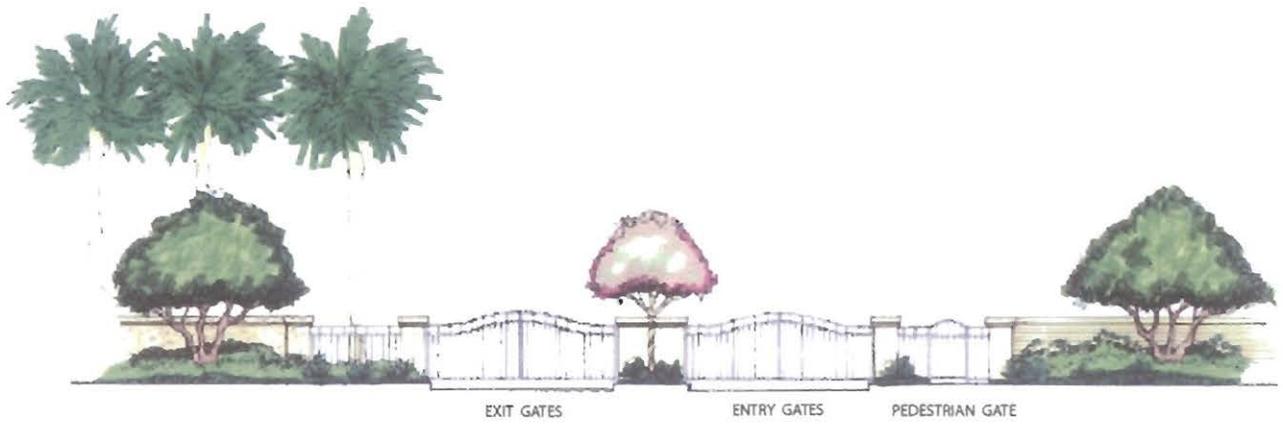
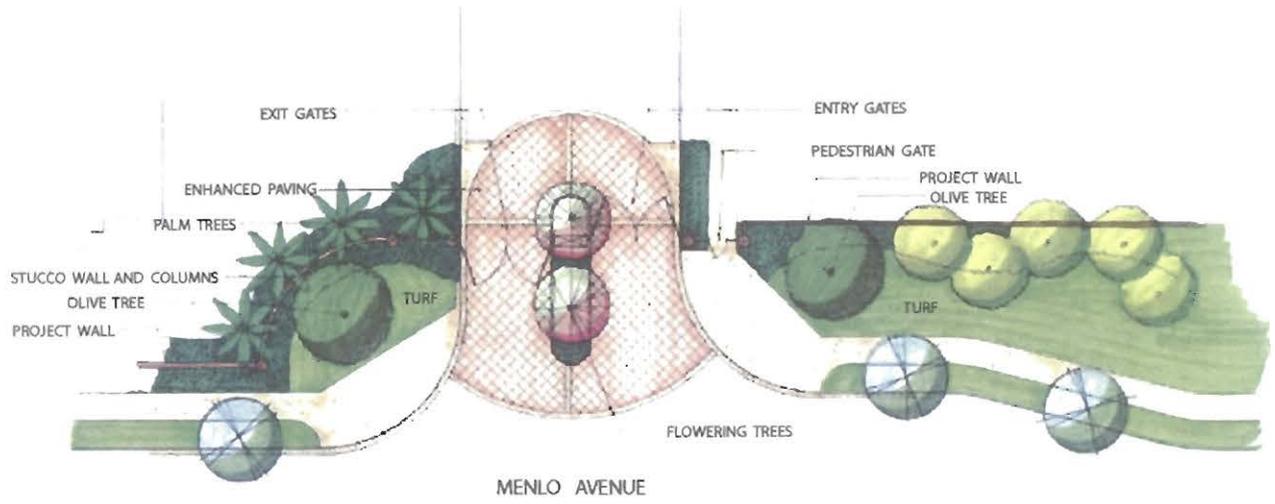
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ASSOCIATES, INC.

AEI-CASC  
Peppertree Specific Plan

Design Guidelines VI-10

# Secondary Entry Treatment

Figure VI-2



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Peppertree Specific Plan

Design Guidelines VI-11

The following guidelines describe the design intent of the streetscapes of the Peppertree community.

*Street 'A'*

Street 'A' is the major street within the project, with a 60' R/W (as shown in Figure VI-3). It is designed to reflect the tradition of classic tree-lined European parkways. The intent is to create a generously appointed streetscape which creates an experience that is softened for pedestrians, bicyclists and drivers. Street 'A' operates as the main interior street connecting the project from Cawston Avenue and Menlo Avenue.

*Streets 'B'-'G'*

Streets 'B'-'G' provides for vehicular traffic within the single detached housing areas 38' R/W (as shown in Figure VI-4). It is designed with informal plantings of evergreen trees to soften the streetscene. These private streets are primarily designed to provide the residents with vehicular access through the project, encouraging pedestrian and bicycle travel within the paseo system.

*Alleys 'A'-'E'*

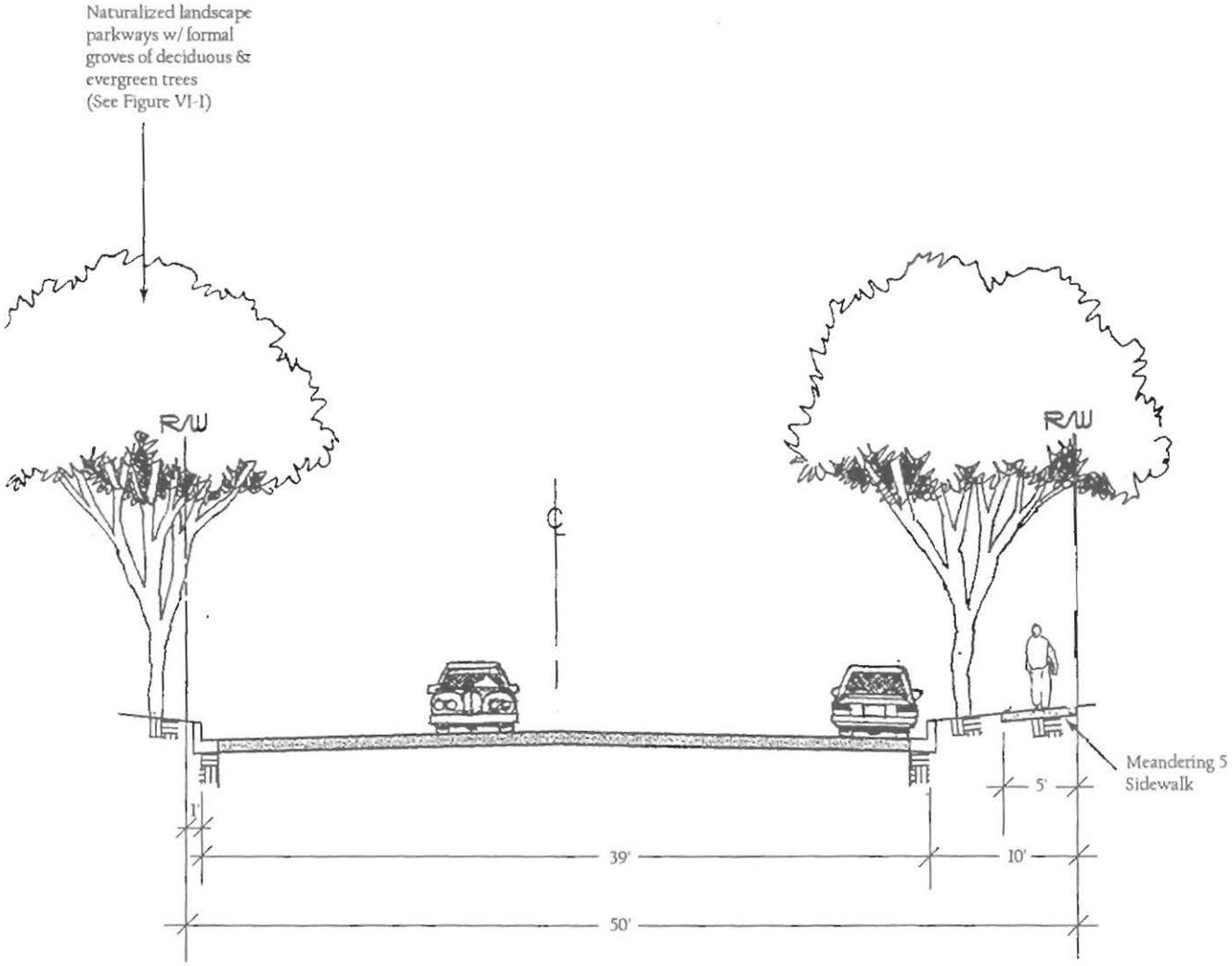
Alleys 'A'-'E' will provide for vehicular traffic within the single detached housing areas, with 29' R/W (as shown in Figure VI-5). Is designed with area for planting within the three feet (3') on either side of the alley. Alleys 'A'-'E' provide the residents with vehicular access to the residential units and the garages for their individual. . . . . ?

*Alleys 'F'-'R'*

Alleys 'F'-'R' provides for vehicular traffic within the single detached housing areas, with 25' R/W (See Figure VI-6).

# Street 'A' Streetscape

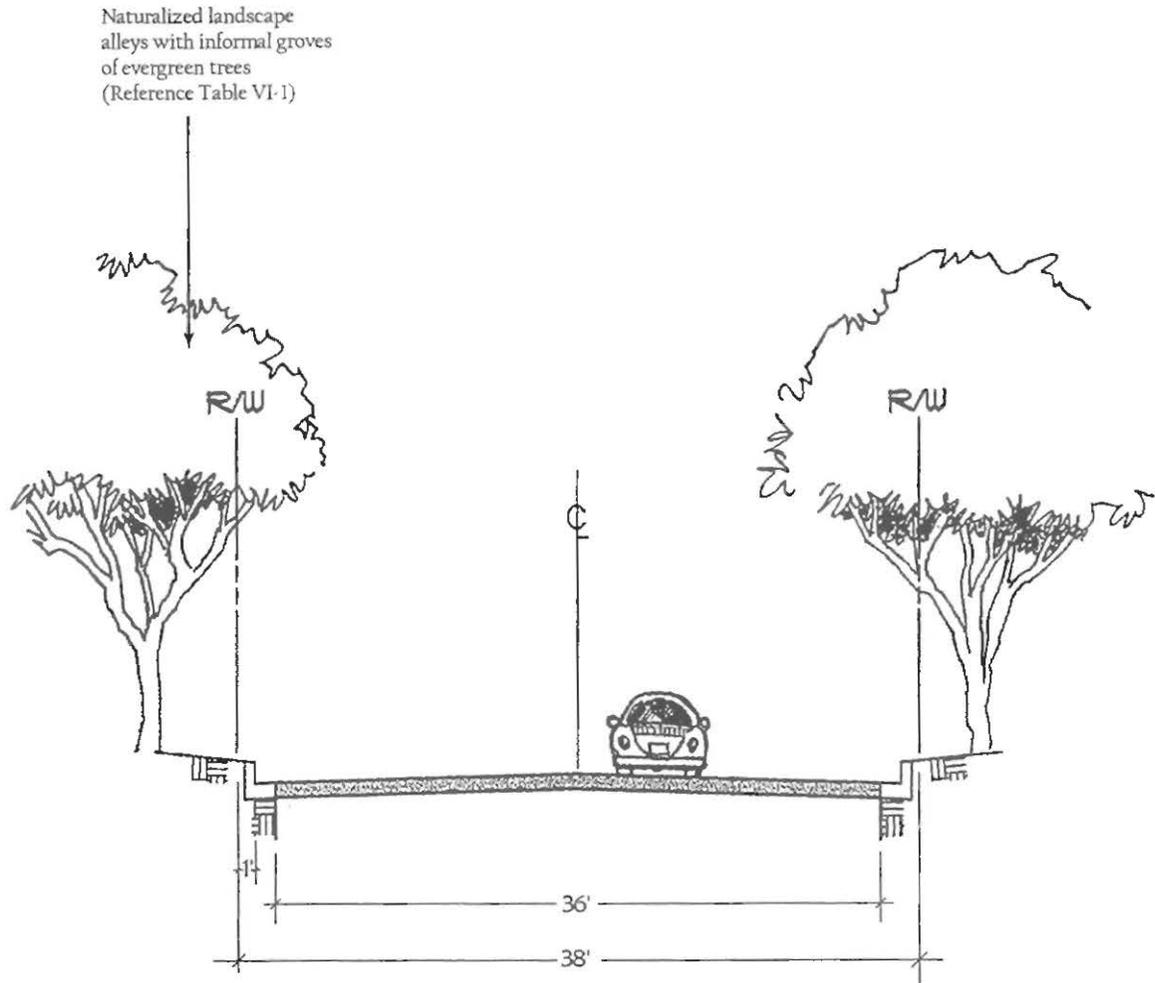
Figure VI-3



\*Note: There will be parallel parking at key locations on the opposite side of the street from the sidewalk.

# Streets 'B' - 'G' Streetscape

Figure VI-4



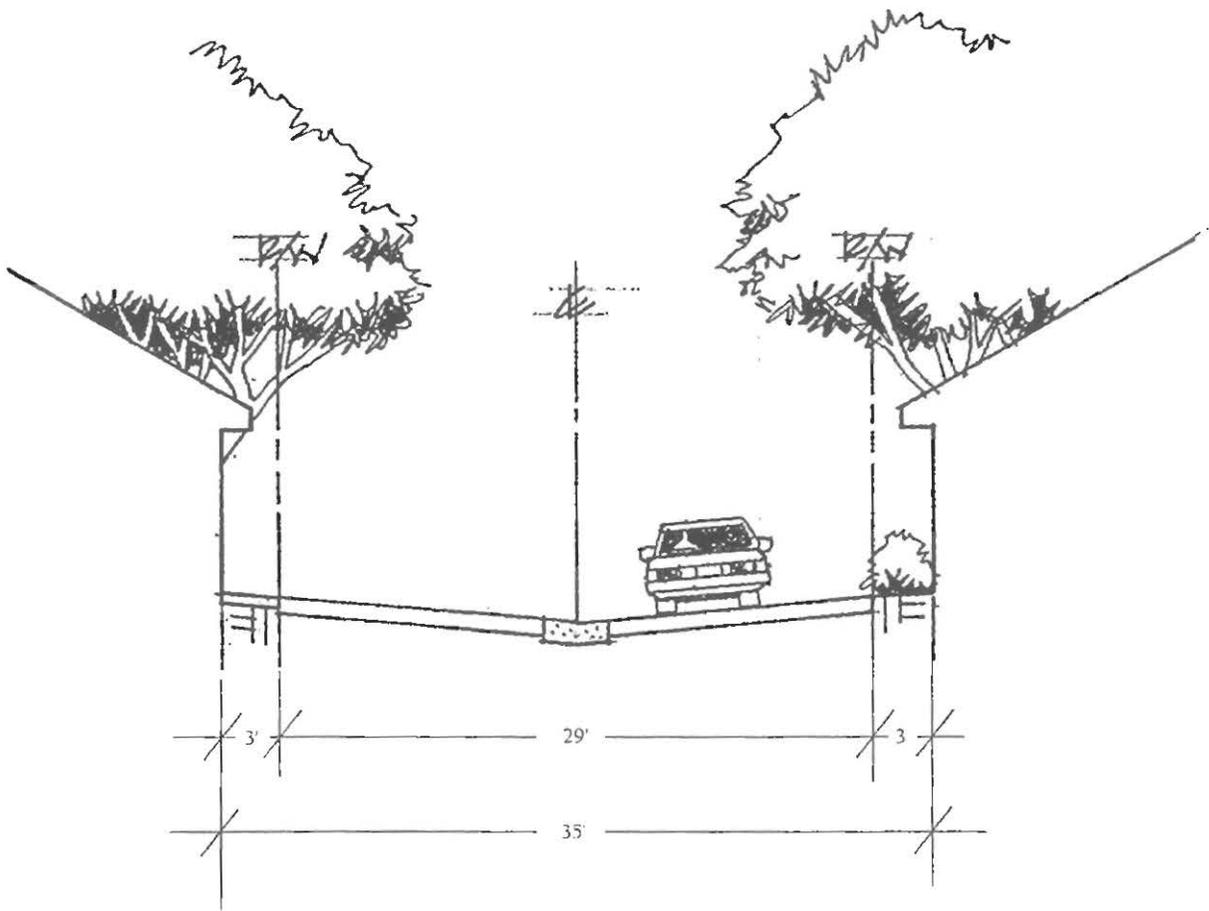
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Peppertree Specific Plan

Design Guidelines VI-14

# Alleys 'A' - 'E'

Figure VI-5



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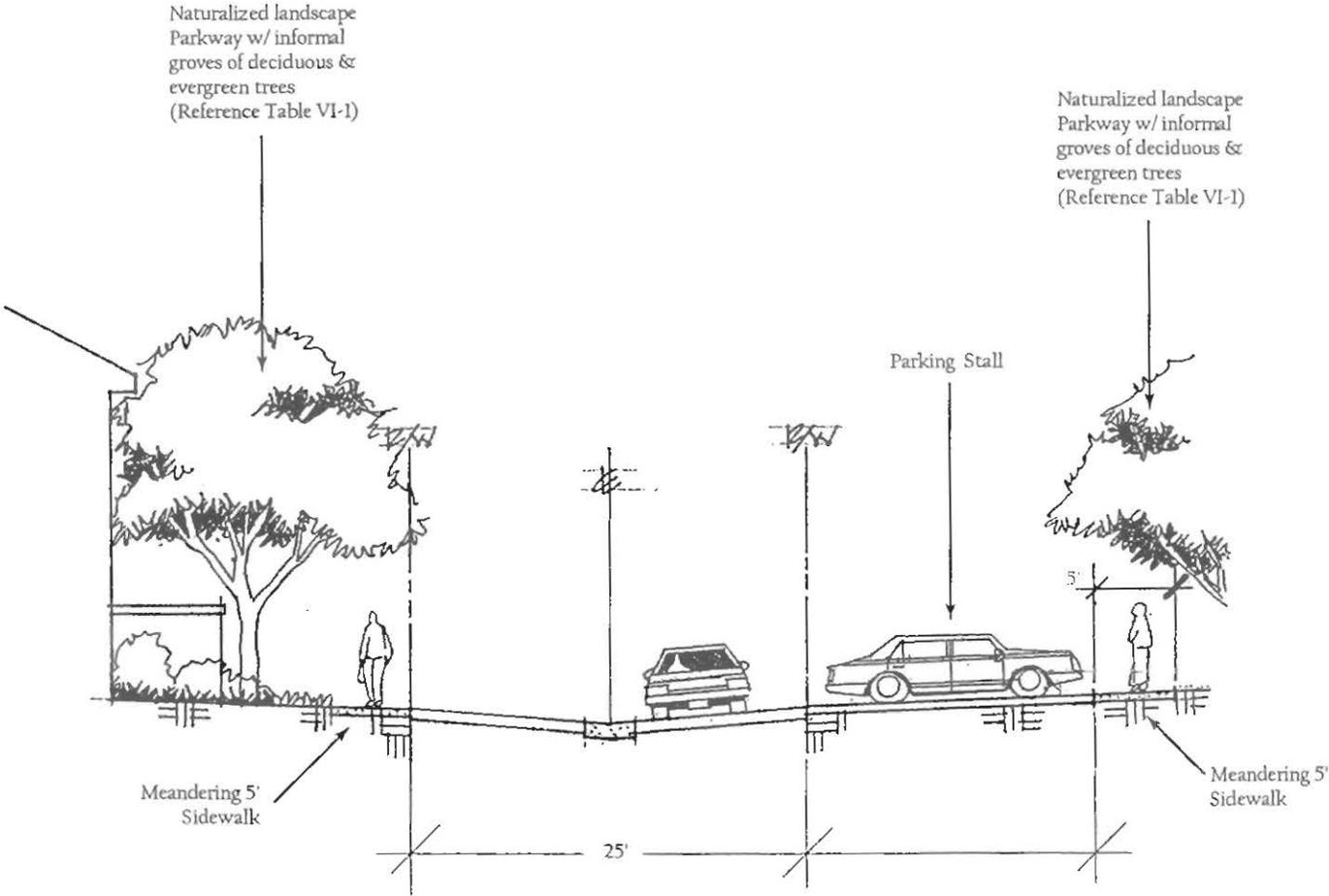
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Peppertree Specific Plan

Design Guidelines VI-15

# Alleys 'F' - 'R'

Figure VI-6



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Peppertree Specific Plan

Design Guidelines VI-16

### *Perimeter Streetscapes*

#### *Cawston Avenue*

Cawston Avenue is classified as a secondary highway with a 88' R/W with 66' curb to curb (as shown in Figure VI-7). The 11' of parkway on the western side of Cawston Avenue will be naturalized landscaping with informal groves of deciduous and evergreen trees. The parkway will include a meandering five feet (5') wide sidewalk, separated from the curb by a variable width planting area. An additional 13' of landscaping (25' total behind curb) will be provided in conformance with the Hemet Residential Design Guidelines.

#### *Menlo Avenue*

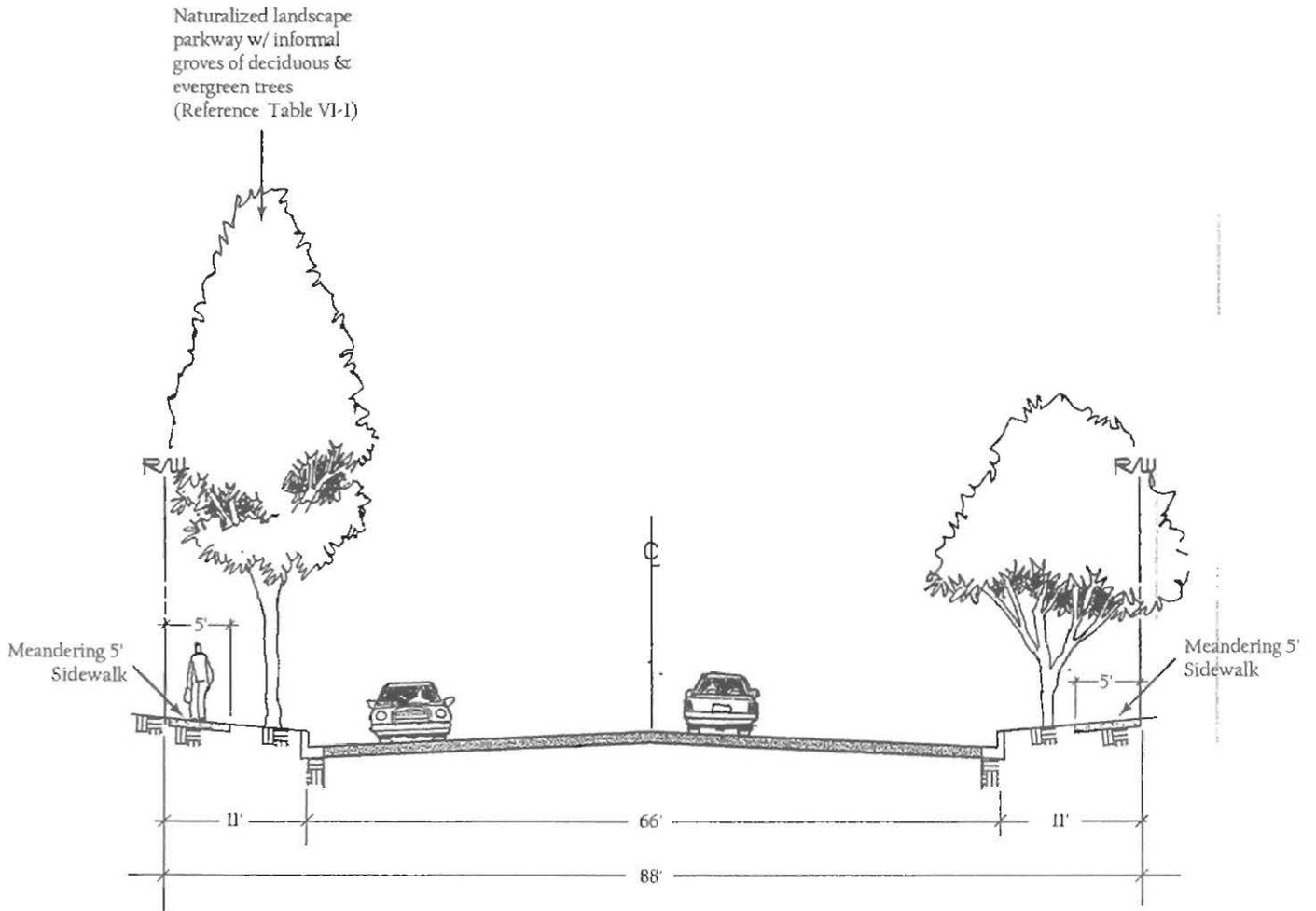
The General Plan designates Menlo Avenue as a collector street with a 66' R/W with 44' of paving and a pedestrian sidewalk on one side (as shown in Figure VI-8). The 11' of parkway on the northern side of Menlo Avenue will be a naturalized landscaping with informal groves of deciduous and evergreen trees. The parkway will include a meandering five foot (5') wide sidewalk, separated from the curb by a planting area of varying widths .

#### *Paseo Treatments*

The Peppertree specific plan is connected throughout with a system of paseos. These paseos are designed to invite residents to walk from place to place within the Peppertree gated community. The paseos will be 30' wide and lined with informal groves of deciduous and evergreen trees, shrubbery and turf along side the meandering six feet (6') wide path (See Figure VI-9).

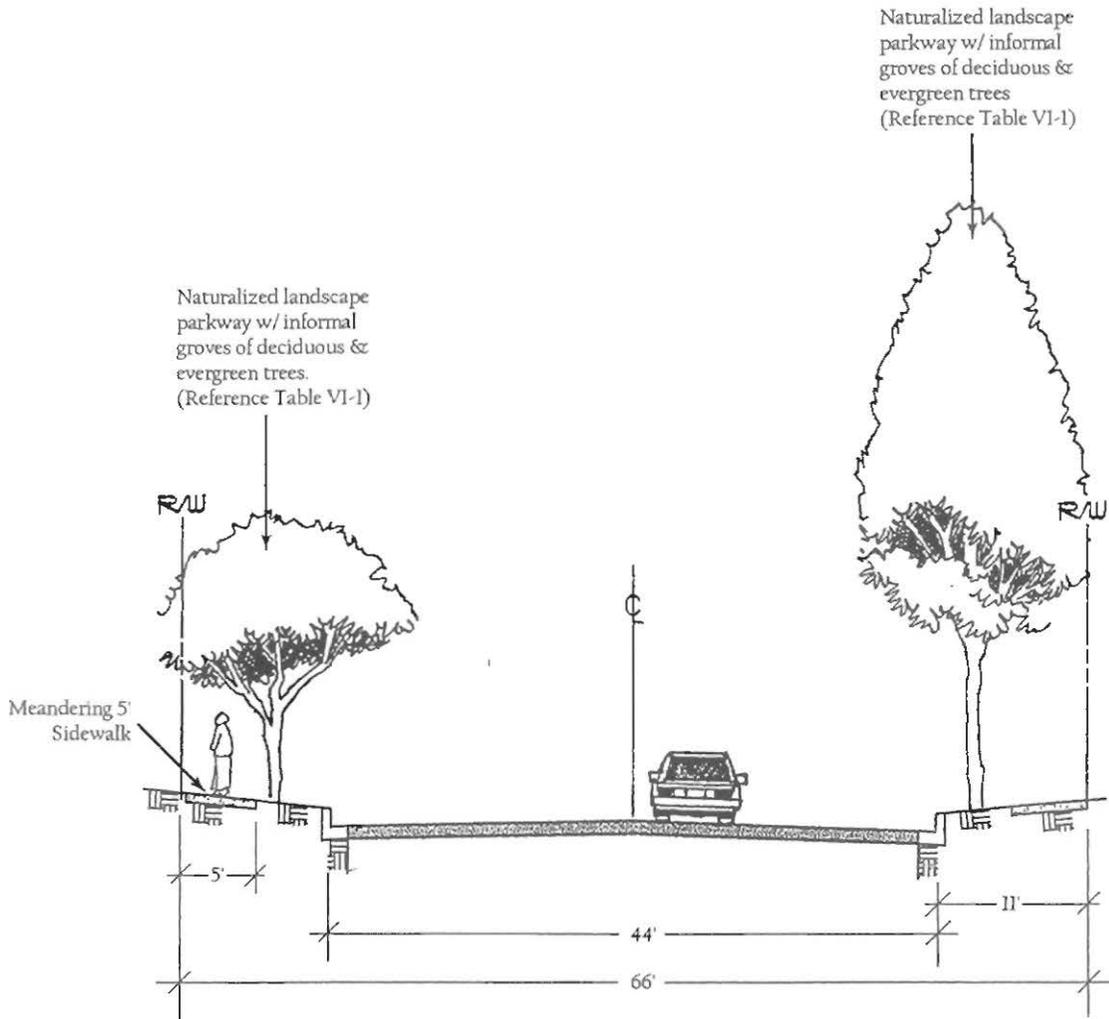
# Cawston Avenue Streetscape

Figure VI-7



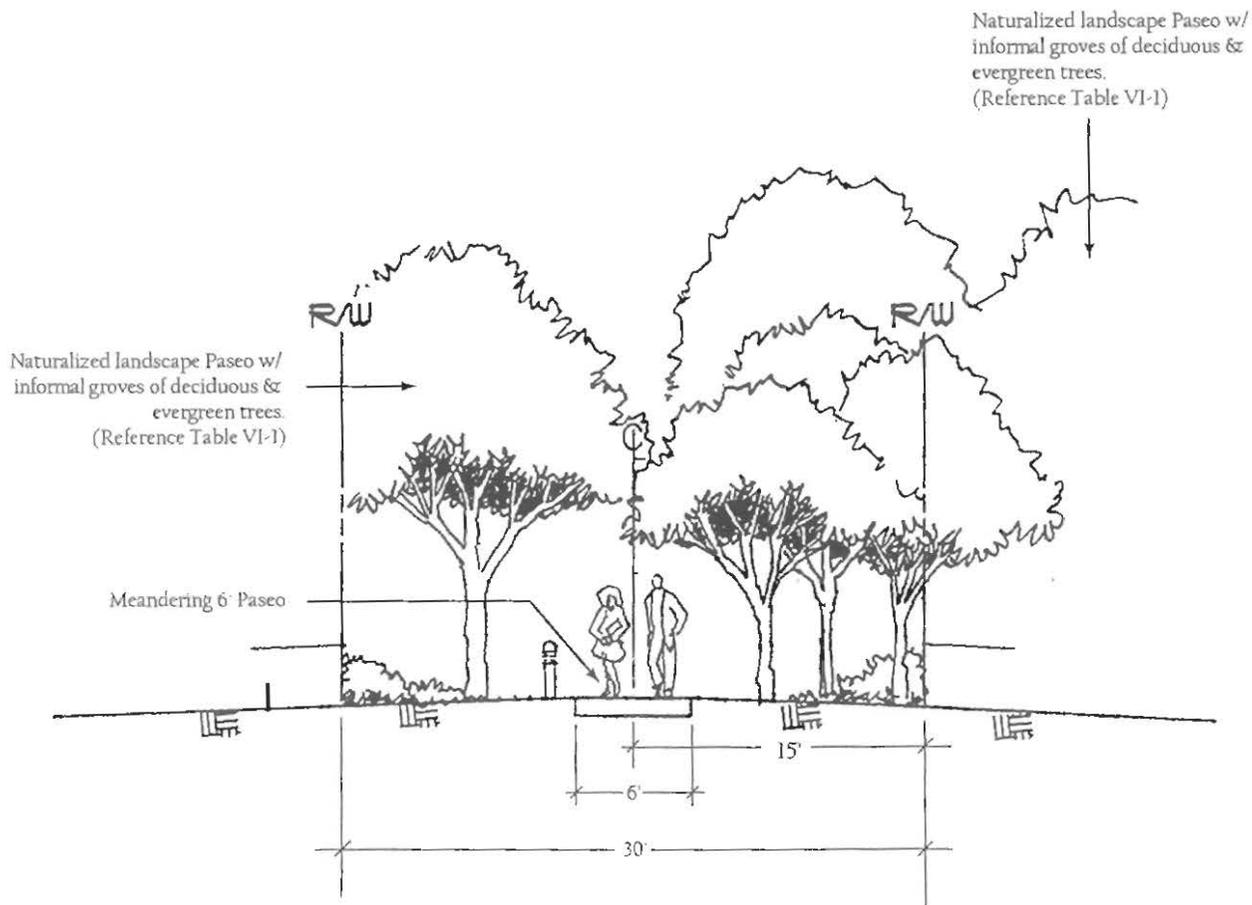
# Menlo Avenue Streetscape

Figure VI-8



# Paseo Treatment

Figure VI-9



## E. Site Planning Criteria

The Site Planning Criteria for Peppertree is intended to provide designers and engineers with qualitative criteria which go beyond minimum development standards (e.g. dimensioning width, depth, and area). The criteria provides design alternatives which emphasize “sense of place” and visual amenities, while meeting functional and development criteria of developers and the City.

### *Neighborhoods*

#### *Local Street Layout*

Design solutions for neighborhood street layouts should consider land form, grades, circulation, and employ appropriate street configurations (refer to Figure VI-2). Local streets should be designed to:

- Serve local volumes of traffic;
- Encourage pedestrian and bicycle circulation by providing safe, comfortable, visually interesting and connected routes (paseos);
- Lower traffic speeds;
- Provide a distinctive “terminal vista” (the features seen at the end of the street or along the outside edges of a street curve), where possible.

#### *Plotting/Street Scene*

The integration of architecture, landscaping and site layout is paramount to the creation of a spatially distinctive street scene within the neighborhoods of Peppertree.

- Residential garages should be positioned to reduce their visual impact on the street. This will allow the active, visually interesting features of the house to dominate the streetscape. Where feasible the garage should be set back from the front facade of the residential building. Alternatives include siting attached or detached garages in the rear accessed from an alley;
- Homes should front onto private neighborhood “paseos” within the

“Bungalows”;

- Varied driveway locations are encouraged to break-up repetitive curb cuts and yard patterns. Not more than 25% of the property’s frontage should be utilized for driveway openings;
- The front yard setbacks of individual homes should be staggered a minimum of two feet (2’) from lot to lot to create a varied streetscape;
- Rear setbacks of all structures facing roadways and other highly visible areas should be perceptibly varied with enhanced architectural details;
- Maximize relationship of residential to open space;
- Front porches and bays are encouraged at the setback line in order to function as semi-private spaces that create opportunities for social interaction within neighborhoods, bringing eyes to the street.

#### *Theme walls and fencing*

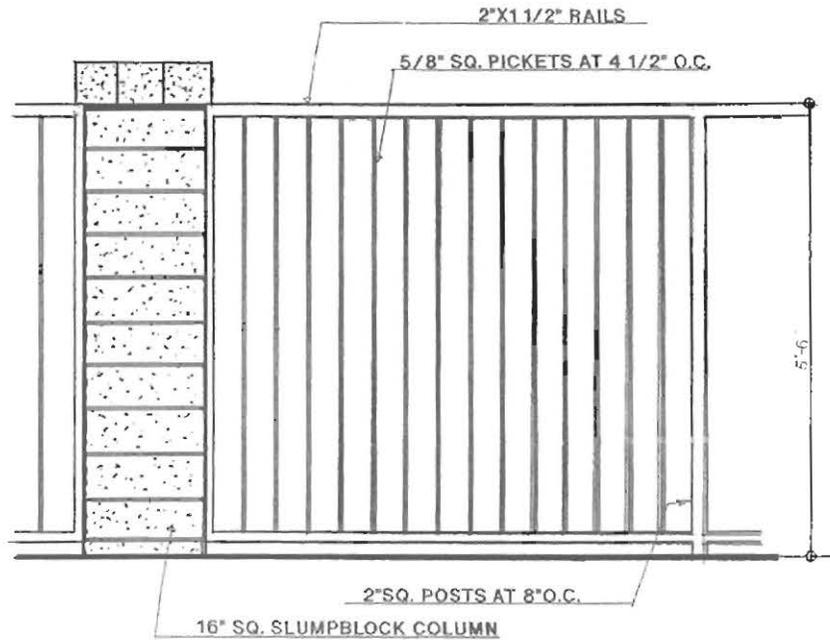
Walls are important to delineate site areas, offer visual and physical privacy as well as provide security. Walls and fences should be used to reinforce the community theme, reflecting the major project identification and entry monumentation in terms of configuration and building materials (See Figure VI-10).

#### *General Guidelines*

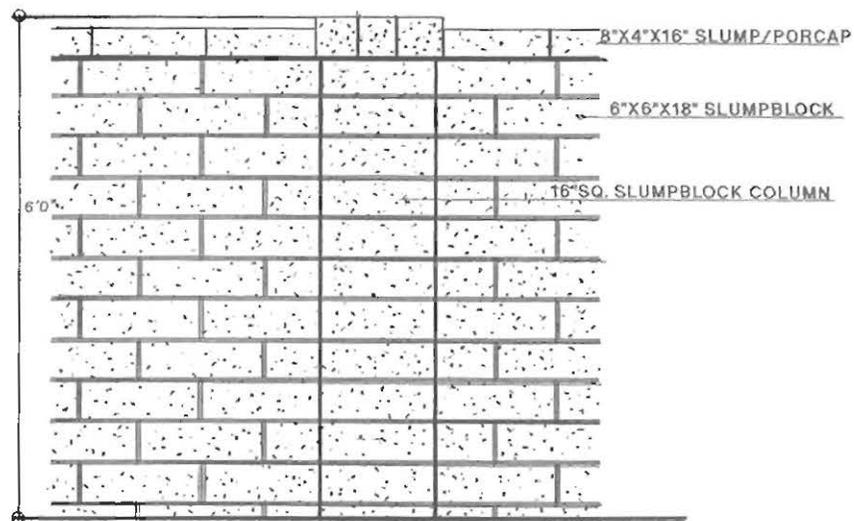
- When barriers are required for security, decorative open view wrought iron fences should be used;
- Long stretches of unrelieved wall and view fences should be broken up with varied setbacks, pilasters and recesses for planting;
- All walls and view fences should end in a pilaster;
- If retaining walls are necessary they should be terraced and not exceed a six foot (6’) height limit;
- When changes in pad elevation occur, the wall or view fence should be stepped in equal vertical intervals. No step should exceed 12” in height;

# Walls and Fences

Figure VI-10



Perimeter Masonry Wall



Perimeter Masonry Wall



- Chain link fencing is prohibited with the exception of tennis courts within the recreation facilities, which would allow vinyl coated chain link.

#### *Solid Walls*

Where required for security, privacy and sound buffering, solid walls must be screened with landscaping.

- Wall materials shall consist of decorative masonry construction with fieldstone, stucco, masonry, stone, rock or wood. Pilasters should incorporate the use of special accent material such as rock and natural stone;
- The horizontal mass of the walls shall be interrupted by pilasters, landscape plantings, and vines;
- Construction materials of walls built to screen ancillary structures adjacent to buildings should be consistent with the main buildings and other walls;
- Walls shall be treated with anti-graffiti sealant and should be planted with vines to add visual interest and discourage graffiti.

#### *View Fences*

The view fences are intended to allow views into open space/recreation areas, and other uses which do not require protection of privacy. View fences may also serve as security fencing where visibility of the screened use is not an issue. View fences should be used to increase a sense of openness in rear yards adjacent to open space.

- View fence panels should be interrupted with pilasters of stone, rock, masonry, or stone with decorative accent material, or by accent stakes of similar metallic or wood materials as the view fence;
- A stone, stucco, rock or masonry wall may be used for the lower two feet (2').

## *Landscaping*

### *Planting Criteria (See Table VI-1)*

- Landscaping plans shall be prepared by a landscape architect registered to practice in the State of California;
- Ornamental non-native plant materials must be carefully chosen and sited to prevent invasion into adjacent areas;
- Maximize the use of native and drought tolerant plant materials, as well as non-native species with low water usage characteristics which are adaptable to hot, dry climates as applicable;
- Avoid planting non-native plant species in areas adjacent to the conservation easement area, to “protect” the natural habitat;
- Landscaped areas will be designed with the objective of reducing long-term water use. Plants shall be chosen where appropriate, that can be gradually weaned from water as they mature, so that water use may be reduced;
- Trees planted near public walks or curbs shall be installed in such a manner as to prevent physical damage to sidewalks, curbs, gutters and other public improvements, such as using root barriers;
- Off-site public rights-of-way contiguous with site landscaping can be counted as part of the overall required landscape area with respect to Specific Plan Design Guideline requirements, but not with respect to zoning requirements.
- Landscape plantings will include a variety of sizes including but not limited to 15 gallon trees, 24” box and 36” box.

### *Plant Palette*

The Plant Palette (See Table VI-1) is intended to assist in the selection of plant materials to be used in the Peppertree Specific Plan. The City approved street trees are included as part of the Peppertree plant palette.

# Table VI-I

## Landscape Palette

| <u>BOTANICAL NAME</u>                 | <u>COMMON NAME</u>  |
|---------------------------------------|---------------------|
| <i>Trees</i>                          |                     |
| <i>Albizia julibrissin</i>            | Silk Tree           |
| <i>Betula alba</i>                    | White Birch         |
| <i>Brachychiton populneus</i>         | Bottle Tree         |
| <i>Callistemon viminalis</i>          | Weeping Bottlebrush |
| <i>Cinnamomum camphora</i>            | Camphor             |
| <i>Cupressus sempervirens</i>         | Italian Cypress     |
| <i>Cupaniopsis anacardioides</i>      | Carrotwood          |
| <i>Eucalyptus nicholii</i>            | Peppermint Gum      |
| <i>Eucalyptus polyanthemos</i>        | Silver Dollar Gum   |
| <i>Eucalyptus sideroxylon 'rosea'</i> | Red Iron Bark       |
| <i>Fraxinus angustifolia</i>          | Baywood Ash         |
| <i>Fraxinus velutina</i>              | Arizona Ash         |
| <i>Geijera parvifolia</i>             | Australian Willow   |
| <i>Ginkgo biloba</i>                  | Maidenhair Tree     |
| <i>Gleditsia tricanthos 'inermis'</i> | Honey Locust        |
| <i>Jacaranda acutifolia</i>           | Jacaranda           |
| <i>Keolreuteria paniculata</i>        | Goldenrain          |
| <i>Keolreuteria bipinnata</i>         | Chinese Flame Tree  |
| <i>Lagerstroemia faueri</i>           | Crape Myrtle        |
| <i>Ligustrum japonicum</i>            | Waxleaf Privat      |
| <i>Liquidambar Styraciflua</i>        | Liquidambar         |
| <i>Liriodenron tulipifera</i>         | Tulip Tree          |
| <i>Magnolia grandiflora</i>           | Southern Magnolia   |
| <i>Melaleuca leucadendra</i>          | Cajeput Tree        |
| <i>Olca europaea</i>                  | Olive               |
| <i>Pinus eldarica</i>                 | Afghan Pine         |
| <i>Pinus canariensis</i>              | Canary Island Pine  |

## Landscape Palette

| <u>BOTANICAL NAME</u>                    | <u>COMMON NAME</u>      |
|--|-------------------------|
| <i>Pinus halepensis</i>                  | Aleppo Pine             |
| <i>Pistachia chinensis</i>               | Pistache                |
| <i>Platanus acerifolia</i>               | London Plane            |
| <i>Platanus racemosa</i>                 | California Sycamore     |
| <i>Podocarpus gracilior</i>              | Fern Pine               |
| <i>Prosopis spp.</i>                     | Mesquite                |
| <i>Prunus caroliniana</i>                | Carolina Laurel Cherry  |
| <i>Prunus cerasifera pissardi hybrid</i> | Purple-leaf Plum        |
| <i>Pyrus calleryana 'aristocrat'</i>     | Flowering Pear          |
| <i>Quercus ilex</i>                      | Holly Oak               |
| <i>Quercus suber</i>                     | Cork Oak                |
| <i>Quercus virginiana</i>                | Southern Live Oak       |
| <i>Rhus lancea</i>                       | African Sumac           |
| <i>Schinus molle</i>                     | California Pepper       |
| <i>Schinus terebinthifolius</i>          | Brazilian Pepper        |
| <i>Ulmus parvifolia sempervirens</i>     | Evergreen Elm           |
| <br>                                     |                         |
| <u>PALMS</u>                             | <u>COMMON NAME</u>      |
| <i>Phoenix dactylifera</i>               | Date Palm               |
| <i>Phoenix canariensis</i>               | Canary island Date Palm |
| <i>Washingtonia filifera</i>             | California Fan Palm     |
| <i>Washingtonia robusta</i>              | Mexican Fan Palm        |
| <i>Cocos plumosa</i>                     | Queen Palm              |

## Landscape Palette

| <u>SHRUBS</u>                              | <u>COMMON NAME</u> |
|--|--------------------|
| <i>Abelia grandifolia</i> 'edward goucher' | Pink Abelia        |
| <i>Agapanthus</i> Spp.                     | Lily of the Nile   |
| <i>Buxus microphylla japonica</i>          | Japanese Boxwood   |
| <i>Cotoneaster</i> Spp.                    | Cotoneaster        |
| <i>Cuphea hyssophylla</i>                  | False Heather      |
| <i>Cupressus viscosa</i>                   | Italian Cypress    |
| <i>Dodonaea pungens</i>                    | Hopseed Bush       |
| <i>Alaegmus fradesii</i>                   | Silverberry        |
| <i>Escallonia japonica</i> spp.            | Pink Escallonia    |
| <i>Euonymus pectinatus</i>                 | Evergreen Euonymus |
| <i>Euryops</i> Spp.                        | N.C.N.             |
| <i>Hemerocallis</i> Spp.                   | Day Lily           |
| <i>Ilex</i> Spp.                           | Holly              |
| <i>Ilex burfordii</i>                      | Burford Holly      |
| <i>Ilex cornuta</i>                        | Holly              |
| <i>Ilex vomitoria</i> 'nana'               | Dwarf Yaupon       |
| <i>Juniperus</i> spp.                      | Juniper            |
| <i>Lantana camara</i>                      | Lantana            |
| <i>Lantana</i> spp.                        | Lantana            |
| <i>Lavandula dentata</i>                   | French Lavender    |
| <i>Lavandula intermedia</i> 'provence'     | Provence Lavender  |
| <i>Lavandula stoechas</i>                  | Spanish Lavender   |
| <i>Ligustrum texanum</i>                   | Texas Privet       |
| <i>Liriope</i> spp.                        | Lily turf          |
| <i>Liriope muscari</i>                     | Lily turf          |
| <i>Moraea bicolor</i>                      | Fortnight Lily     |
| <i>Myrsine africanus</i>                   | African Boxwood    |

## Landscape Palette

|  |                  |
|--|------------------|
| <i>Myrtus communis compacta</i>          | True Myrtle      |
| <i>Nandina oleander 'petite pink'</i>    | Heavenly Bamboo  |
| <i>Phormium tenax spp.</i>               | Flax Oleander    |
| <i>Photinia fraseri</i>                  | Birmingham       |
| <i>Pittosporum tobira spp.</i>           | Pittosporum      |
| <i>Podocarpus spp.</i>                   | Podocarpus       |
| <i>Potentilla verna</i>                  | Cinquefoil       |
| <i>Prunus caroliniana 'compacta'</i>     | Carolina Cherry  |
| <i>Raphiolepis indica spp.</i>           | Indian Hawthorne |
| <i>Rosea spp.</i>                        | Rose             |
| <i>Rosmarinus officinalis prostratus</i> | Dwarf Rosemary   |
| <i>Tecoma capensis</i>                   | Cape Honeysuckle |
| <i>Trachelospermum jasminoides</i>       | Star Jasmine     |
| <i>Viburnum tinus compacta</i>           | Spring Bouquet   |
| <i>Vinca major</i>                       | Periwinkle       |
| <i>Vinca minor</i>                       | Dwarf Periwinkle |
| <i>Xylosma congestum</i>                 | Shiny Xylosma    |

### VINES

### COMMON NAME

|                                     |                     |
|-------------------------------------|---------------------|
| <i>Bignonia violacea</i>            | Purple Trumpet Vine |
| <i>Cissus antarctica</i>            | Kangaroo Treebine   |
| <i>Gelesmium sempervirens</i>       | Carolina Jessamine  |
| <i>Jasminum polyanthum</i>          | Pink Jasmine        |
| <i>Pandorea jasminoides 'rosea'</i> | Pink Bower Vine     |
| <i>Pandorea jasminoides 'alba'</i>  | White Bower Vine    |
| <i>Parthenocissus quinquefolia</i>  | Virginia Creeper    |

## Landscape Palette

*Parthenocissus tricuspidata*

*Phaedranthus buccinatorius*

*Rosa banksiae*

*Wisteria sinensis*

Boston Ivy

Blood-red Trumpet Vine

Lady Bank's Rose

Wisteria

### GROUND COVER

*Fragaria chiloensis*

*Gazania 'copper king'*

*Gazania 'mitsua yellow'*

*Hedera helix 'needlepoint'*

*Lonicera j. 'halliana'*

*Potentilla verna*

*Vinca major*

*Vinca minor*

### COMMON NAME

Ornamental Strawberry

Gazania

Gazania

Needlepiont Ivy

Hall's Honeysuckle

Cinquefoil

Periwinkle

Dwarf Periwinkle

### TURF GRASS

Seeded or Sodded improved Fescue blend  
("Marathon II", "Medallion", "Water-Saver")

# Landscape Palette

## City of Hemet Approved Street Tree Varieties

| <u>BOTANICAL NAME</u>            | <u>COMMON NAME</u>          |
|----------------------------------|-----------------------------|
| <i>Cinnamomum camphora</i>       | Camphor Tree                |
| <i>Magnolia grandiflora</i>      | Magnolia Tree               |
| <i>Ulmus parvifolia</i>          | Chinese Elm                 |
| <i>Pistacia chinensis</i>        | Chinese Pistache            |
| <i>Liquidambar styraciflua</i>   | Liquidambar                 |
| <i>Cocos plumosa</i>             | Queen Palm                  |
| <i>Washingtonia filifera</i>     | California Fan Palm         |
| <i>Pyrus calleryana</i>          | Flowering Pear "Aristocrat" |
| <i>Cupaniopsis anacardioides</i> | Carrot Wood                 |
| <i>Geijera parviflora</i>        | Australian Willow           |
| <i>Gleiditsia triacanthos</i>    | Sunburst Honey Locust       |
| <i>Koelrueteria paniculata</i>   | Goldenrain Tree             |
| <i>Lagerstromia indica</i>       | Crapemyrtle                 |
| <i>Prunus blireiina</i>          | Red-leafed Flowering Plum   |
| <i>Photinia fraseri</i>          | Photinia                    |
| <i>Fraxinus angustifolia</i>     | Raywood Ash                 |

# VII. Implementation Measures

## A. State Requirements

The Specific Plan is the ideal tool for the development of a senior-oriented community. Unlike the General Plan and zoning, the Specific Plan includes detailed impact mitigation measures and a program of implementation measures.

Section 65451 of the Government code mandates that a Specific plan contain:

- (a) A Specific plan shall include a text and diagram or diagrams which specify all the following in detail:
  - (1) The distribution, location, and text of the uses of land, including open space, within the area covered by the plan.
  - (2) The proposed distribution, location and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other facilities proposed to be located within the area covered by the plan and needed to support the land uses describe in the plan.
  - (3) Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
  - (4) A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out paragraphs (1), (2), and (3).
- (b) The specific plan shall include a statement of relationship of the specific plan to the general plan.

The Peppertree Specific Plan fully complies with the California Environmental Quality Act, and technical studies have been prepared to assess and provide mitigation for any adverse impacts.

## B. Local Requirements

### *Overview*

The Peppertree Specific Plan serves as both a planning and regulatory document. Along with the Hemet General Plan, Hemet Municipal Code and Hemet Subdivision Ordinance, the Specific Plan will regulate the development standards and regulations not indicated in this Specific Plan shall follow the latest adopted City of Hemet standards and regulations.

### *Adjustments*

While it is the intent to develop the Specific Plan as it is currently planned, there may be a need to adjust some of the development areas to accommodate a particular product type or market niche. Minor Adjustment of up to ten percent (10%) may be approved by the Planning Director.

Adjustments to the alignment, location and sizing of utilities and facilities serving the site may be approved without Specific Plan Amendments as long as the adjustments are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities.

Adjustments are not considered to be amendments to the Specific Plan; however, any adjustment shall be documented in writing, and become a part of the Specific Plan.

## Amendments

Amendments to the Specific Plan shall require an application to be filed with the Planning Department. The amendment is an ordinance and shall follow substantial Requirements of the City of Hemet Planning Department. Consideration of approval shall require public hearings before the Hemet Planning Commission and the Hemet City Council.

The Peppertree Specific Plan shall not be amended unless the following findings are made by the Planning Commission and City Council.

1. The plan or amendment systematically implements and is consistent with the General Plan.
2. The Plan or amendment provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications.
3. The plan or amendment provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long term needs of the project and/or area residents, and complements the orderly development of the City beyond the project's boundaries

All said improvements are to be constructed and financed on an “incremental” basis as warranted by the adjacent private development.

City of Hemet actions involved in the Peppertree Specific Plan include:

1. General Plan Amendment No. 01-2
2. Specific Plan No. 01-3
3. Vesting Tentative Tract Map No. 29843
4. Mitigated Negative Declaration No. 03-19

Prior to issuance of grading permits for any planning area within the specific plan, a Site Development Review (SDR) application shall be reviewed and approved by the Planning Commission.

## C. Phasing Plan

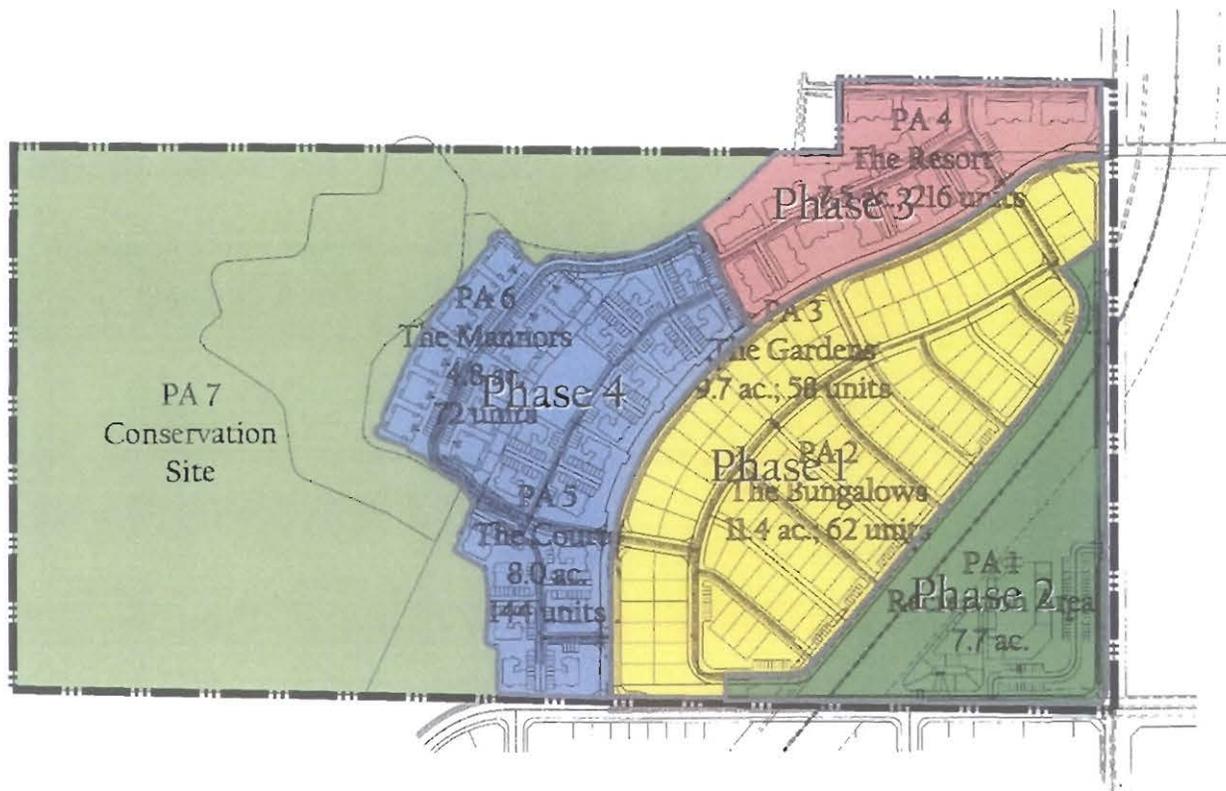
The primary intent of the phasing plan for any development is to ensure that complete and adequate public facilities and services are in place and available to the future residents and visitors of the community.

Unless otherwise indicated in the Specific Plan, or in the conditions of approval of a subdivision of a phase of the Specific Plan, the construction, installation, and/ or extension of the infrastructure and public facilities necessary to serve each phase of development shall be operational prior to the issuance of the first Certificate of Occupancy of the final Building permit for the phase of development.

It should be noted that the ultimate pace and phasing of the development is dependent on a number of internal and external factors. As the development of surrounding areas progresses, including Diamond Valley Lake, various adjustments and revisions to the anticipated phasing program may occur. Upon review by the City of Hemet confirming that the proposed revisions meet the intent of this Specific Plan and also adequately serve the needs of the community, said revisions shall be permitted without an amendment to the Specific Plan (*See Figure VII-1*).

# Phasing Plan

Figure VII-1



## D. Financing Mechanism

The timing of the development in the project vicinity will have a direct impact on the responsibilities associated with the financing and construction of the major community-wide infrastructure system such as water service, sewer service and circulation improvements.

The master-planned infrastructure and improvements to public facilities necessary to serve the Peppertree project and vicinity may include the following financing mechanisms:

- Developer improvement with reimbursement agreement;
- Developer improvement with credits against fees;
- City of Hemet Capital Improvement Program (as budgeted);
- Public financing (i.e. Assessment District, Community Facilities District);
- Development Impact Fee Programs
- Lighting and landscaping maintenance district (LLMD).

The cost associated with making improvements to the internal infrastructure and facilities will be borne by the developer/ builder. Development of the Specific Plan cannot proceed in advance of the installation of the master-planned facilities required by this project.

## E. Maintenance Plan

The intent of the maintenance plan is to establish responsibilities for the maintenance and management of various facilities and community improvements that add to the sense of place designed for Peppertree.

Maintenance Responsibility  
Table VII-1

|                        | City of Hemet | Property Owners | Eastern Municipal Water District | Riverside County Flood Control District |
|------------------------|---------------|-----------------|----------------------------------|---|
| Flood Control          | •             |                 |                                  | •                                       |
| Entry Monumentation    |               | •               |                                  |   |
| Commercial Landscaping |               | •               |                                  |   |
| Private Streets        |               | •               |                                  |   |
| Public Streets         | •             |                 |                                  |   |
| Sewer (on site)        |               |                 |                                  |   |
| Sewer (off site)       | •             |                 | •                                |   |
| Water (on-site)        |               | •               |                                  |   |
| Water (off-site)       |               |                 | •                                |   |
| Street R/W             | •             |                 |                                  |   |

All in-tract improvements/landscaping will be maintained by a Home Owners Association (HOA).